

# PLANNING & REDEVELOPMENT DEPARTMENT STAFF REPORT DESIGN COMMITTEE MEETING SEPTEMBER 18, 2008

Prepared by: Elisa Reynolds, Associate Planner

## <u>ITEM III-A</u> DESIGN REVIEW PERMIT – ROSEVILLE SQUARE REMODEL – 1167 ROSEVILLE SQUARE – FILE# 2008PL-098 (DRP-000269)

## **REQUEST**

The applicant requests approval of a Design Review Permit to remodel the façade of Buildings A and B (excludes Rite Aid and old Sport Mart buildings), and to re-paint Building E (Starbucks, Roseville Bread Co., etc). Also proposed are parking lot modifications for accessibility compliance, including restriping the lot, and additional landscaping.

Applicant – Mark Marvelli, RMB Architects Property Owner – Vineyard Springs Estates, LLC

#### **SUMMARY RECOMMENDATION**

The Planning & Redevelopment Department recommends that the Design Committee:

- A. Adopt the four findings of fact for the Design Review Permit; and
- B. Approve the Design Review Permit subject to forty-six (46) conditions of approval.

## SUMMARY OF OUTSTANDING ISSUES

The project, as proposed, represents an investment in one of the City's oldest shopping centers. However, the changes fall slightly short of the level of design detail established with the re-build of the Ross building. Nevertheless, staff believes that the proposed modifications, as conditioned, meet the minimum design intent established in the Community Design Guidelines. Should the Committee disagree, it is requested that direction be provided to staff and the applicant with regards to desired design elements.

## **BACKGROUND**

The project site is located at 1167 Roseville Square, at the northwest corner of the intersection of Douglas Boulevard and Harding Boulevard, within the Infill area of the City of Roseville. The 21-acre site is surrounded by a high density senior housing development and commercial buildings on the north, Douglas Boulevard with retail and commercial uses to the south, Harding Boulevard with retail beyond to the east, and Folsom Road with a mix of business professional, neighborhood commercial, and low density residential to the west (See Figure 1, page 3).

Roseville Square was constructed in 1961 and was the City's first "shopping center". The center was remodeled in 1982 and again in the mid-1990's. Roseville Square consists of five multi-tenant buildings and several single-tenant pad buildings. Current tenants include Trader Joe's, Starbucks, Bank of America, Mr. Pickles, Wishing Well, Dress Barn, Rite Aid, and Wise Buys.

The current request only involves three of the five buildings: Building A (adjacent to the Ross building), Building B (Traders Joe's), and Building E (Starbucks) and a portion of the parking lot (see Limit of Work as shown on the Site Plan, Exhibit A). The applicant proposes to remodel the façades of Buildings A and B and to repaint Building E. Also proposed are minor changes to the parking lot area within the Limit of Work to comply with accessibility requirements, and landscape improvements, including:

- Additional planters in the parking area increasing the shade provided;
- Additional planter area along Harding Boulevard;
- Replacement and widening of the sidewalk along Harding Boulevard;

- Removal and replacement of the Eucalyptus trees along Harding (to be replaced by a less invasive tree species); and
- The widening of the pedestrian walkway in front of Trader's Joes.

Not included in the Limit of Work are the Rite Aid, Ross, Sports Mart, Mountain Mike's, and Firestone buildings. The Rite Aid and Sports Mart buildings were recently repainted using the same color palette approved for the re-built Ross building and proposed with this project. Additionally, the Rite Aid building is separately owned and the CC&R's recorded for the center do not allow the center's primary owner, Vineyard Springs Estates, LLC, to compel architectural enhancements to the Rite Aid building.

In 2006, the Ross building was destroyed by a fire. In 2007, the Planning and Redevelopment Department approved a Design Review Permit Modification that allowed the re-construction of the Ross building. During the entitlement process for the Ross re-build, the applicant indicated that the design and detail provided on the Ross building would set the standard for any future remodel of the center.

## **SITE INFORMATION**

**Roseville Coalition of Neighborhood Associations (RCONA):** The site is located in the Folsom Road neighborhood association district, which is currently inactive.

**Lot Size:** Roseville Square is comprised of seven (7) parcels totaling 21.23 acres. However, the project site (Limit of Work) contains an area of approximately 15.5 acres.

**Site Access:** Site access is currently provided via nine driveways: There are two driveways on Douglas Boulevard, one driveway on Estates Drive, three driveways on Folsom Road, and three driveways on Harding Boulevard. As a condition of approval, the applicant will be required to replace a portion of the sidewalk on Harding Boulevard (from just north of the southern driveway to just north of the northern driveway) due to buckling caused by existing eucalyptus trees along the frontage (Condition 18). The applicant has also agreed to Condition 3, which requires that the main entry from Harding Boulevard be treated with stamped asphalt to enhance this major entry into the site.

**Topography/Grading:** The site is fully developed. Minimal grading may be required in the parking lot to accommodate additional landscape planters.

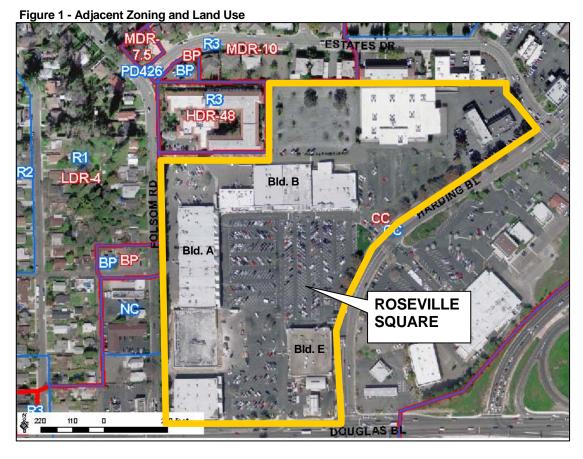


Figure 2 - Development Standards

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Building Setback	None specified	No change
Landscape Setback	20' from Douglas and Harding Boulevards	Existing 7' planters and 13 parking stalls on Harding to be replaced with a continuous landscape setback
Building Height Limit	50' maximum	Building A – 33' Building B – 39'
Floor Area Ratio	20-40%	No change
Parking Spaces	890	Existing 1,105 Proposed 1,089
Compact	30% max	84 stalls 8%
Handicapped (ADA)	21 stalls	40 stalls
Shade Cover (min.)	50%	Existing 10% Proposed 34%
Bicycle Spaces	15	16

#### PROJECT DESIGN FEATURES

See the attached Site Plan (Exhibit A), Building Elevations (Exhibit B), Landscape Plans (Exhibit C), Color Elevations (Attachment 2) and Statement of Design Intent (Attachment 3).

## **DESIGN REVIEW PERMIT EVALUATION**

This project is subject to the development standards of the City's Zoning Ordinance and the design standards of the Community Design Guidelines (CDG). Redevelopment of Infill sites is often complicated by constraints such as existing infrastructure. As a result, the Community Design Guidelines acknowledge that flexibility in implementation is often required to make Infill redevelopment projects successful. In this case, staff believes the project meets the minimum design intent of the applicable guidelines with a few warranted exceptions. These areas of exception, as well as other design considerations warranting Committee consideration, are further described below.

## **Site Design & Existing Conditions**

The Community Design Guidelines recommend that buildings should be located to contribute to and strengthen the streetscape. The current configuration of the Roseville Square Center was established in 1961. The buildings are in the typical "L" shaped layout popularized in the 1960's, and are oriented towards Douglas and Harding Boulevards with the parking lot in between. Building A backs to Folsom Road and the rear of Building B faces a senior living center and the rear of the commercial businesses on Estates Drive. Currently there are no trash enclosures dedicated to either of these buildings and dumpsters are scattered behind the buildings. This area can be described as utilitarian, with loading areas and exits cantilevered onto the cast stone façade. With the exception of the streetscape landscaping along Folsom Road, there is very little landscaping behind the two buildings.

Figure 3 - Rear of Bld. A





The applicant proposes to construct a trash enclosure behind each building and to repaint the rear and side elevations of Building A and B. No other enhancements of the rear elevations are proposed.

#### Sidewalk Improvements

In conjunction with this remodel, the applicant will replace a large portion of the sidewalk fronting on Harding Boulevard. The sidewalk has buckled and cracked over time due to root encroachment from the existing eucalyptus trees planted adjacent to the walk. The applicant proposes to widen the sidewalk from four feet to six feet, creating a more comfortable pedestrian environment.

The applicant proposes to upgrade the walkway in front of Buildings A and B by replacing the existing ceramic tile inlays with new slate tile. Also proposed is the widening of the walkway in front of the Trader

Joe's tenant space in Building B. The resulting walkway will curve out into the drive aisle to allow a wider space for pedestrian activity.

Staff had suggested the addition of stamped paving in front of Trader Joe's in conjunction with the widening of the walkway in that location as an additional pedestrian enhancement. The applicant indicates that textured pavement is not desirable in that location because it would create noise and vibration as shoppers pushed shopping carts out of the store and into the parking lot. However, the applicant agreed to Condition 3, which requires the use of stamped asphalt in the drive aisle between Building A and B, as indicated in Exhibit D, and stamped asphalt at the main driveway entrance off of Harding Boulevard.

Other minor changes to the site are proposed such as curb cuts, the restriping of the parking lot, and providing accessible paths of travel, which will bring the site into conformance with accessibility regulations. Staff supports the changes to the site design as proposed.

## **Architecture/Façade Improvements**

The center was last remodeled in the mid-1990's, and while the design was appropriate for that time, it is no longer in keeping with the current architectural designs and trends. As a result, the center's appearance has become dated. Photos of the existing elevations of buildings A, B, and E have been provided as Attachment 1.

Due to budget and ownership constraints, the applicant intends to remodel the storefront façades of buildings A & B, and will only repaint Building E.

## Façade Improvements – Buildings A & B

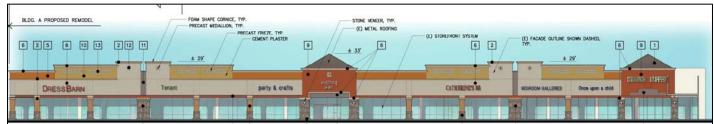
The applicant's Statement of Design Intent (Attachment 3) indicates that the project is intended to provide an end result that is "an aesthetically current and welcoming" center. The applicant states that it was a priority to preserve the existing sky lights which are built into the canopy, in between the storefront and façade, and proposes to accomplish this by "removing the adjacent architecture, which had become dated." Due to a limited budget, the applicant has "chosen to allow the rear of the buildings to remain as they currently appear, while allowing the new paint palette to provide continuity".

The storefront façade improvements will consist of the following:

- The existing stucco columns will be refaced with painted plaster with a "ledge stone" stone veneer base and accents. Some of the columns will be modified to enlarge the presence of the column element; the enlarged columns will be faced entirely in the stone veneer.
- The existing stucco and painted wood fascia will be refaced with plaster and painted from the same color palette used on the Rite Aid, Ross, and Sports Mart buildings.
- The new façade will provide a raised parapet with cornice trim, which will screen the existing roof line and architecture. The roof line will be varied to create additional architectural detail.
- The existing hipped standing seam metal roof features will be re-roofed in "cool copper" to match the roof on the Ross building.
- Medallion and frieze details, featuring a pineapple theme, are incorporated into the new elevations.

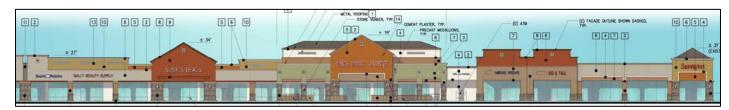
**Building A - Existing and Proposed Elevations** 





**Building B - Existing and Proposed Elevations** 





As mentioned previously, the applicant proposes to remodel only the storefront elevations. As shown in Attachment 2 (Color Elevations) the rear and side elevations will be repainted using the color palette described above. The rear and side elevations were not updated with either remodel of the center and remain the original 1961 cast stone material. Staff had hoped that these elevations would, at a minimum, be retextured, especially on the rear of Building A and the west of Building B, which are highly visible from Folsom Road. The applicant has explored some options including applying stucco or plaster or spraying the elevations with textured gunnite. All of the options explored were found infeasible by the applicant because they were either too costly or because the building walls and footings could not support the additional weight without structural improvements.

## Repaint - Building E

Again, due to budget constraints, the applicant proposes only to repaint Building E, using the color palette used on the Rite Aid, Ross, and Sports Mart buildings. A simulation of what Building E would look like with the new paint colors is shown below. No other changes are proposed for Building E.

**Building E - Repainted Elevation Simulation** 



## Architecture Conclusion

While the proposal represents an improvement over the existing conditions, staff believes that it falls short of the level of design detail established by the Ross re-build. At the Project Evaluation Meeting, staff met with the applicant and discussed ways that the proposed design might be improved, (i.e. the addition of score lines, further variation in the roof line, the retexturing of highly visible rear and side elevations, etc.). The applicant was receptive to staff's feedback; however, the applicant has decided to pursue the project presented in Exhibits A-C.

## Landscaping and Landscape Setback

#### **Existing Conditions**

The existing landscape setback is intermittent and varies from five (5) feet to twelve (12) feet in width along Douglas Boulevard. The landscape setback on Harding Boulevard is seven (7) feet, except for a planter located adjacent to the center driveway, which averages approximately 45 feet in width.

## <u>Proposed Setback – Harding Boulevard Frontage</u>

As shown on Exhibits A and C, the applicant has proposed four (4) new 20-foot wide planters along the Harding Boulevard frontage. The Community Design Guidelines describe a continuous 20-foot landscape setback for new commercial projects. However, the project is an Infill development project and, as previously mentioned, the Guidelines allow for flexibility in implementation for Infill projects. As a compromise, the applicant has agreed to Condition 4, which requires a continuous landscape planter along the Harding Boulevard frontage between the main driveway and the driveway adjacent to Building E, resulting in the loss of 13 parking stalls (see Exhibit D). The revised landscape planter will provide a landscape setback that averages 16 feet in depth. As shown in Figure 2 (page 3) the center provides an excess of 199 parking stalls; the loss of 13 parking stalls will not have any appreciable effect on the amount of available parking in the center. The expanded planter area is large enough to accommodate the new Aristocrat Pear trees proposed to replace the Eucalyptus trees. There are no landscape improvements proposed for the Douglas Boulevard frontage.

#### Parking Lot Shade Improvements

In addition to the landscape setback described above, the applicant proposes the addition of 54 planters to the parking area. These planters will allow for the placement of trees in the parking lot and will increase the parking lot shading from 10% to 34%. The applicant proposes five (5) tree varieties: Crepe Myrtle, Red

Maple, Evergreen Elm, Aristocrat Pear, and Sweet Bay. The majority of the trees will be maple and elm, with the other trees used as accents. The parking lot planters will also contain numerous shrubs and ground cover including flax, fortnight lily, and Oregon grape.

## Trash Enclosures - Buildings A & B

The Community Design Guidelines recommend that each building have a dedicated trash enclosure that matches the building materials and colors and that a minimum three foot landscape buffer be provided around all non-accessible sides. As shown on the Site Plan (Exhibit A), new trash enclosures will be provided for both buildings. Siting the enclosures proved to be a challenge due to the required 65-foot clear approach, avoiding existing utility easements, and avoiding conflicts with existing vehicle circulation. As a result, both trash enclosures will be visible from Folsom Road.

The Community Design Guidelines stipulate that trash enclosures be surrounded by three (3) feet of landscaping on all sides not required to remain clear for access. According to the applicant, there is no landscaping proposed with the new trash enclosures due to the lack of irrigation behind Buildings A and B and the expense involved in extending irrigation to the trash enclosures. Both trash enclosures will match the buildings in materials and colors. Staff believes the new enclosures will be an improvement over the existing situation of trash bins scattered throughout the rear of the buildings.

## Trash Enclosure Landscaping - Building E

As shown on the Site Plan (Exhibit A), there is an existing trash enclosure and planter in the parking lot, north of Building E. As shown below, the trash enclosure lacks visual interest and the landscaping is sparse.





The applicant proposes to replace the existing olive tree with a red maple tree, oregon grape shrubs, and dwarf viburnum ground cover. A creeping fig (ficus pumila) vine will be planted and trained to grow up the rear wall of the trash enclosure, screening it from view from the north.

Staff supports the proposed landscaping for two reasons:

- The proposed landscape setback exceeds both the existing landscape setback at the project site
  and the existing landscape setbacks along both Harding Boulevard and Douglas Boulevard in the
  surrounding area. As conditioned, the area proposed for improvement meet the 20-foot setback
  described in the Community Design Guidelines.
- 2. Staff believes that the quality of the landscaping proposed meets the intent of the "priority shalls" described in the Community Design Guidelines.

The Community Design Guidelines state that landscaping shall be used extensively throughout the site to achieve multiple objectives, including:

a. Providing shade in public spaces and parking lots. As noted above, the proposed improvements will increase the shade provided to 34%. While the Community Design Guidelines require 50% shading in parking lots, this project site is an infill site with existing site constraints including existing utilities, easements, and building footprints. It is not feasible to attain 50% shading in this center given the existing site constraints.

The applicant has also provided numerous pear trees along the public sidewalk fronting on Harding Boulevard, which will provide shade to pedestrians and enhance the streetscape.

b. Adding texture to walls and other vertical surfaces and screening undesirable views. The applicant proposes the use of a "green screen" to visually screen the trash enclosure north of Building E, as described above.

#### DESIGN REVIEW PERMIT CONCLUSION

As proposed and conditioned, the project will provide an improvement to one of the City's oldest shopping centers. As previously stated, staff believes that the proposal meets the minimum intent of the Community Design Guidelines, particularly taking into consideration that this is an existing Infill center and considering the current economic conditions. As noted in the staff report, staff has recommended additional improvements that would help increase the level of design quality, including additional landscaping along the frontage and enhanced paving. While staff would have preferred additional architectural detail, both on the primary and secondary elevations, the project represents a reasonable compromise as conditioned below. As such, staff recommends that the Design Committee approve the request as proposed and conditioned.

Zoning Ordinance Section 19.78.060(B) requires four findings of fact be made in order to approve a Design Review Permit. Based on the analysis contained in this staff report and with the project conditions, staff believes that the required findings for approval can be made for the proposed Design Review Permit. The four findings for approval of the Design Review Permit are contained in the Recommendation section of this report.

## **ENVIRONMENTAL DETERMINATION**

This project is categorically exempt from the environmental review requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities) and pursuant to Section 305 of the City of Roseville CEQA Implementing Procedures.

## **RECOMMENDATION**

The Planning and Redevelopment Department recommends that the Design Committee take the following actions:

- A. Adopt the four findings of fact as stated below for the **DESIGN REVIEW PERMIT ROSEVILLE SQUARE REMODEL 1167 ROSEVILLE SQUARE FILE # 2008PL-098 (DRP-000269)** 
  - 1. The project, as approved, preserves and accentuates the natural features of the property, such as open space, topography, trees, provides adequate drainage for the project, and allows beneficial use to be made of the site for development.

- 2. The project site design, as approved, provides open spaces for pedestrians, vehicle access, vehicle parking, vehicle and pedestrian circulation, pedestrian walks, and links to alternative modes of transportation, loading areas, landscaping and irrigation and lighting which results in a safe, efficient and harmonious development which is consistent with the applicable goals, policies and objectives set forth in the General Plan and the Community Design Guidelines.
- 3. The building designs, including the material, colors, height, size, and relief, and the arrangement of structures on the site, as approved, is harmonious with the existing open space and topography of the area which is consistent with the applicable goals, policies and objectives set forth in the General Plan and the Community Design Guidelines.
- 4. The design of the public services, as approved, including but not limited to trash enclosures and service equipment are located so as not to detract from the appearance of the site, and are screened appropriately and effectively using construction materials, colors, and landscaping that are harmonious with the site and the building designs.
- B. Approve the **DESIGN REVIEW PERMIT ROSEVILLE SQUARE REMODEL 1167 ROSEVILLE SQUARE FILE # 2008PL-098 (DRP-000269)** subject to forty-six (46) conditions of approval;

## **CONDITIONS OF APPROVAL for DESIGN REVIEW PERMIT (DRP-000269)**

- 1. This Design Review Permit approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire on **September 18, 2010**. Prior to said expiration date, the applicant may apply for an extension of time, provided, however, this approval shall be extended for no more than a total of one year from **September 18, 2010**.
- 2. The project is approved as shown in Exhibits A C and as conditioned or modified below.
- 3. Enhanced paving, such as stamped concrete or asphalt, shall be used at the intersection of the drive aisles fronting Buildings A and B, and at the central driveway entrance to the center from Harding Boulevard, as shown in Exhibit D. (Planning)
- 4. The applicant shall replace the four (4) planters and 13 parking stalls proposed along the Harding Boulevard frontage between Building B and Building E (shown on Exhibits A and C) with a continuous planter, as shown in Exhibit D. (Planning)
- 5. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. (Public Works, Environmental Utilities, Electric, Finance)
- 6. The design and construction of all improvements shall conform to the Design and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Public Works)
- 7. The applicant shall not commence with any on-site improvements or improvements within the right-of-way until such time as grading and/or improvement plans are approved and grading and/or encroachment permits are issued by the Department of Public Works (Public Works)
- 8. The approval of this project does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. (Public Works)

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

- 9. Parking stalls shall meet, or exceed, the following minimum standards:
  - a. All parking stalls shall be double-striped. Parking stalls adjacent to sidewalks, landscaped areas or light fixtures, and all Accessible stalls shall abut a 6" raised curb or concrete bumper. (Planning)
  - b. All parking stalls shall meet the minimum dimensions outlined in Exhibit A. (Planning)
  - c. An 'exterior routes of travel' site accessibility plan incorporating slope, cross-slope, width, pedestrian ramps, curb ramps, handrails, signage, detectable warnings or speed limit signs or equivalent means shall comprise part of the site improvement plans submitted to City for review, prior to building plan check approvals. This site accessibility plan shall also include:
    - i) Handicapped parking stalls shall be dispersed and located closest to accessible entrances. The total number of accessible parking spaces shall be established by Table 11-B-6 of the CBC.
    - ii) Accessible Parking spaces and crosswalks shall be signed, marked and maintained as required by Chapter 11 of the CBC.
    - iii) Accessible parking and exterior route of travel shall comply with CBC, Sections 1127B and 1129B. (Building)
- Signs and/or striping shall be provided on-site as required by the Planning Department to control
  on-site traffic movements. Parking lot striping and signage shall be maintained in a visible and
  legible manner. (Planning)
- 11. The plans submitted to the Building Department for permits shall indicate all approved revisions/alterations as approved by the Commission including all conditions of approval. (Planning)
- 12. The project Landscape Plans shall comply with the following:
  - a. The Landscape Plan shall indicate the location of, and be designed to avoid conflicts with, all pole-mounted light fixtures and utility equipment including (but not limited to) electric transformers, switchgear, and overhead lines, backflow preventors, fire department connections, and public water, sewer, and storm drain facilities. (Planning, Fire, EUD, Electric, Public Works)
  - The tree plantings in the parking lot shall be designed to provide a minimum of 34% shade coverage after 15 years. Opportunities for additional shade shall be explored where feasible. (Planning)
  - c. At a minimum, landscaped areas not covered with live material shall be covered with a rock, (2") bark (no shredded bark) or (2") mulch covering. (Planning)
  - d. The landscape plan shall comply with the Community Design Guidelines and the City of Roseville Water Efficient Landscape Requirements (Resolution 93-55).
  - f. All landscaping in areas containing electrical service equipment shall conform with the Electric Department's Landscape Requirements and Work Clearances as outlined in Section 10.00 of the Departments "Specification for Commercial Construction." (Electric)

- 13. Any roof-mounted equipment and satellite dishes proposed shall be shown on the building plans. The equipment shall be fully screened from public streets and the surrounding properties. (Planning)
- 14. A separate Site Accessibility Plan which details the project's site accessibility information as required by California Title 24, Part 2 shall be submitted as part of the project Building Permit Plans. (Building)
- 15. For Multiple Building Complexes: As part of the required Site Accessibility Plan, the developer shall delineate the extent of the site accessibility improvements being installed as part of the initial improvements for the project, and those that are planned to be developed as part of subsequent phases (i.e. around future pad buildings). (Building)
- 16. Building permit plans shall comply with all applicable code requirements (California Building Code CBC based on the International Building Code, California Mechanical Code CMC based on the Uniform Mechanical Code, California Plumbing Code CPC based on the Uniform Plumbing Code, California Fire Code CFC based on the International Fire Code with City of Roseville Amendments RFC, California Electrical Code CEC based on the National Electrical Code, and California Energy Standards CEC T-24 Part 6), California Title 24 and the American with Disabilities Act ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Department for applicable Code editions). (Building)
- 17. Maintenance of copy of building plans: Health and Safety Code section 19850 requires the building department of every city or county to maintain an official copy of the building plans for the life of the building. As such, each individual building shall be submitted as a separate submittal package. Building plan review, permit issuance and archiving is based on each individual building address.
- 18. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the Harding Boulevard frontage. During plan check of the improvement plans, Public Works will designate the exact areas to be reconstructed. If areas of reconstruction affect existing driveways, then it will be the property owner's obligation to reconstruct the driveway to meet current ADA standards. (Public Works)
- 19. Any existing public facilities damaged during the course of construction shall be repaired by the property owner and at the property owner's expense, to the satisfaction of the City. (Public Works)
- 20. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan view and in profile view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)
- 21. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)
- 22. Trash enclosures, recycling areas, and enclosure approaches shall be designed to current Refuse Division specifications, the materials and colors shall match the building, and the location of such facilities shall be reviewed and approved by the Refuse Division, Planning and the Fire Department. The enclosure must have inside dimensions of 12 feet wide and 9 feet deep and be

- built to the specifications of the Solid Waste Department's Enclosure Description. (Refuse, Planning, Fire)
- 23. Access to trash enclosures shall have an inside turning radius of 25 feet and an outside turning radius of 45 feet must be maintained to allow the refuse truck access to and from the enclosure. (Refuse)
- 24. A trash enclosure and recycling enclosure is required for each building and each tenant, otherwise, the building owner is responsible for the trash service. (Refuse)
- 25. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
- 26. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting (Fire)
- 27. All on-site external lighting shall be installed and directed to have no off-site glare. Lighting within the parking areas and pedestrian walkways shall provide a maintained minimum of one (1) foot candle, and 0.5 foot candle of light, respectively. All exterior light fixtures shall be vandal resistant. (Planning & Police)
- 28. The parking lot shall have properly posted signs that state the use of the parking area is for the exclusive use of employees and customers of this project. (See California Vehicle Code Sections 22507.8, 22511.5, 22511.8, 22658(a), and the City of Roseville Municipal Code Section 11.20.110). The location of the signs shall be shown on the approved site plan. (Planning & Police)
- 29. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

## **DURING CONSTRUCTION & PRIOR TO ISSUANCE OF OCCUPANCY PERMITS:**

- 30. Any backflow preventors visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventors shall be screened with landscaping and shall comply with the following criteria:
  - a. There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventor to the landscaping.
  - b. For maintenance purposes, the landscaping shall only be installed on three sides and the plant material shall not have thorns.
  - c. The control valves and the water meter shall be physically unobstructed.
  - d. The backflow preventor shall be covered with a green cover that will provide insulation. (Planning, Environmental Utilities)
- 31. Easement widths shall comply with the City's Improvement Standards and Construction Standards. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor. All existing public utility, electric, water, sewer and reclaimed water easements shall be maintained unless otherwise authorized by these conditions of approval. (Public Works, Environmental Utilities, Electric)

- 32. Water and sewer shall be constructed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. (Environmental Utilities)
- 33. All water backflow devices shall be tested and approved by the Environmental Utilities Department. (Environmental Utilities)
- 34. All Electric Department facilities, including streetlights where applicable, shall be designed and built to the "City of Roseville Specifications for Commercial Construction." (Electric)
- 35. The City of Roseville Electric Department has electrical construction charges which are to be paid by the developer and which are explained in the City of Roseville "Specification for Commercial Construction." These charges will be determined upon completion of the final electrical design. (Electric)
- 36. Any relocation, rearrangement, or change of existing electric facilities due to this development shall be at the developer's expense. (Electric)
- 37. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)
- 38. It is the responsibility of the developer to insure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)

## OTHER CONDITIONS OF APPROVAL:

- 39. Signs shown on the elevations are not approved as part of the Design Review Permit. A Sign Permit is required for all project signs. (Planning)
- 40. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
- 41. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)
- 42. Temporary aboveground storage tanks may be used at construction sites for diesel fuel only and shall not exceed 1,000 gallon capacity. Tanks shall comply with all provisions found within the Fire Code. A Fire Department Permit shall be obtained prior to tank installation. The permit shall expire after 90 days from the date of issuance, unless extended by the Fire Chief. (Fire)
- 43. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor or person responsible for the building permit must notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable of not and if site remediation is required. (Fire)
- 44. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight

- p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Building)
- 45. Prior to Certificate of Occupancy, the applicant may apply for a Temporary Occupancy (TO) of the building. If a TO is desired, the applicant must submit a written request to the Building Division a minimum of thirty (30) days prior to the expected temporary occupancy date and shall include a schedule for occupancy and a description of the purpose for the Temporary Occupancy. (Building)
- 46. Concurrent with submittal for plan check and prior to a request for final building inspection, the applicant may request City approval of an occupancy phasing plan to allow individual or multiple building occupancies. This request shall be made in writing to the Building Department and shall include 10 copies of the following:
  - a. A description of measures that will be undertaken to minimize conflict between residents/building occupants and construction traffic (e.g. fencing, etc.);
  - b. A phasing plan showing the proposed buildings, internal roads and access routes, landscaping, trash enclosure locations, and any other improvements planned for each phase; and
  - c. Estimated time frame for each phase and a specific date for the first phase. (Planning, Building)

## **ATTACHMENTS**

- 1. Photos of Roseville Square
- 2. Color Elevations
- 3. Statement on Design Intent

## **EXHIBITS**

- A. Site Plan
- B. Elevations
- C. Landscape Plan
- D. Enhanced Paving Locations & Landscape Setback

Note to Applicant and/or Developer: Please contact the Planning Department staff at (916) 774-5276 prior to the Design Committee meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Committee in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing.