

ITEM VI-A: MAJOR PROJECT PERMIT MODIFICATION AND DEVELOPMENT AGREEMENT AMENDMENT – 10000 DIAMOND CREEK BL. – NRSP PCL DC-31A – FILE #2009PL-059 (MPP-000035 & DA-000050)

REQUEST

The applicant requests approval of a Major Project Permit Modification to allow the construction of 84 single family residential units along with associated landscaping, lighting, and two urban relief areas. The Development Agreement Amendment will modify and detail ownership and maintenance responsibility of the urban relief lots.

Applicant & Property Owner – Robert Walter, Black Pine Holdings Inc.

SUMMARY RECOMMENDATION

The Planning Department recommends that the Planning Commission:

- A. Adopt the two (2) findings of fact for the Major Project Permit Modification (Stages 1 & 2);
- B. Approve the Major Project Permit Modification (Stages 1 & 2) subject to the sixty-five (65) conditions of approval;
- C. Recommend the City Council adopt the five (5) findings of fact for the Development Agreement Amendment; and
- D. Recommend the City Council approve the Development Agreement Amendment.

SUMMARY OF OUTSTANDING ISSUES

There are no outstanding issues with the request.

BACKGROUND

The project site is located at 10000 Diamond Creek Bl. and has a zoning designation of Small Lot Residential with Design Standards (RS/DS) and a land use designation of Medium Density Residential (MDR 10.7). The parcel is approximately 7.42 acres in size and has been graded to accommodate single family homes. In addition, public streets, utilities, and street trees have been installed within the subdivision.

On February 21, 2007 a General Plan Amendment, Specific Plan Amendment, Rezone, Development Agreement Amendment, Major Project Permit, Large Lot Parcel Map, and Tentative Subdivision Map were approved by the City Council for North Roseville Specific Plan Parcels DC-30, 31, and 33. These approvals entitled the construction of:

- 131 detached medium density single-family and 8 attached dwelling units (MDR-10.7)
- 352 high density dwelling units (HDR-54)
- 75,000 square feet of retail space south of Parkside way
- 124,188 square feet of retail and office space north of Parkside Way

As was mentioned above site utilities and public streets have been installed within the subdivision. These improvements were made to accommodate the project that was approved in 2007. Since that

time the original homebuilder abandoned the project. The requested project modifications are to accommodate the home product that Blackpine Communities would like to construct.

Figure 1: Surrounding Uses & Zoning



Staff evaluated the project and found it to be consistent with the original approvals with the exception of a few key areas. The key differences include:

- MPP Stage 1 – Parking – The original development contained homes that provided two parking spaces and guest parking as required by the City's Zoning Ordinance. The current proposal includes one home plan (Plan 1) that will only provide a one car garage (see Exhibit D). The balance of the parking required by the Zoning Ordinance will be provided on-street (see Exhibit A).
- MPP Stage 2 - Orientation of homes – The homes originally fronted onto a paseo and had garages that were alley-loaded. The current application flips many of the home footprints so that they front onto the public streets and alleyways (see Figure 2 below).
- Development Agreement Amendment - Urban relief areas – Similar to the original project the applicant will be constructing two passive green space areas. However the applicant has requested that the City and not the Home Owner's Association, own and maintain the urban relief areas. The project will have a Home Owner's Association but they will not own any areas within the subdivision, the HOA will only be responsible for maintenance items. The proposed Development Agreement Amendment would require the homeowners within the project to pay an annual assessment for the costs of maintenance and administration of the passive recreation areas.

EVALUATION

The Zoning Ordinance lists the required findings for a Major Project Permit. The project was evaluated for Consistency with the General Plan, North Roseville Specific Plan and the approved Major Project

Permit. The Evaluation of the proposed project is divided into the Major Project Permit Stage 1 and Stage 2 modifications and Development Agreement Amendment below.

Stage 1 Modification

The original project was approved with two parking spaces in each garage and guest parking on the street. The applicant would like to modify the approval to incorporate a unit that has a one car garage. In addition, the concept book approved by the Planning Commission in 2007 contained setbacks for the home product to be constructed on DC-31. Minor modifications to the concept book are proposed to accommodate the proposed product.

The Zoning Ordinance requires that each single family and two family dwelling provide two off-street parking spaces. However, the Zoning Ordinance allows deviations from the required parking through the Major Project Permit process. Given the design of the project there are limited opportunities to provide parking in the driveway of units. The site plan proposes to locate nine (9) home plans (Plan 5) that will have enough driveway depth to provide one parking space.

Instead of providing additional parking in the driveway, the applicant has proposed to rely on on-street parking for the 10 units (Plan 1) that will only provide one garage parking space. Exhibit A depicts the proposed on-street parking areas. These 53 spaces are dispersed throughout the project. The parking requirement approved in 2007 is shown in the table below along with the proposed parking provided by the project.

Table 1: Parking requirements

Project	Garage Parking	On-Street Parking	Total Parking provided
MPP-000004 (2007)	168 spaces	42 spaces	210
MPP-000065 (2012)	158 spaces	53 spaces	211

As you can see from this table with the additional on-street parking the project will exceed the approved number of spaces for the project by one space.

The project approved in 2007 also included a parking reduction based on the unique combination of office, retail, restaurant, and a health club in a commercial center on Parcels DC-30 and 33, with residences immediately adjacent. The Planning Commission found that the shared use of parking spaces and pedestrian accessibility of the site supported approval of the parking reduction. This project also will have a strong neighborhood and walkability component given its proximity to the commercial center at the corner of Woodcreek Oaks Bl. and Blue Oaks Bl., the restaurant on DC-33, planned retail and office uses and nearby parks.

In addition to the walkability of the project, it provides a unique design (small lots, low maintenance yards) and the applicant believes many prospective buyers would be single households or “empty nesters”. These prospective homebuyers would be less likely to have or need multiple vehicles. Given this fact and the fact that the total number of parking spaces provided by the project will exceed the approved requirement, staff supports the request to include a product with a one car garage.

In order to define the desired product type within the Diamond Creek mixed use project a concept book was developed and approved for the project in 2007 (Attachment 2). This document outlines the architectural theme for the project and provides additional details including a development standards table for single family homes. The applicant has revised this table to define the new standards for each home including setbacks, building height, and parking requirements. The minor changes include a 4 foot front yard setback and a 2 foot front yard setback for retaining walls. Previously the development standards did not provide a setback for a front loaded product type. The amended table is provided as Exhibit B.

Stage 2 Modification

The applicant has proposed to construct five home plans that range in size from 1,330 to 2,284 square feet. All of the homes will be two story units and will fit on lots that are substantially consistent with the original Tentative Subdivision Map that was approved by the Planning Commission in 2007.

Figure 2: Proposed Site Plan



Attachment 1 depicts the original concept plan that was approved by the Planning Commission in 2007. As depicted in the site plan, the project was intended to be an “alley-loaded” product with the homes fronting onto paseos with courtyards in the front of the homes. Black Pine Communities has requested to alter this design and have the homes front onto the public streets and alleyways (see Figure 2). The applicant has placed the courtyards in the rear or side yard of the homes to provide a more traditional small private patio space for residents.

With the exception of the unit orientation the project retains the major design concepts approved in 2007. The architecture of the homes provides a level of detail not traditionally found in a suburban setting (see Exhibit C). The architectural style of the homes are based on a European or French motif and incorporate many of the design elements originally envisioned in the project concept book approved by the Planning Commission (Attachment 2). Staff visited two home sites in Sacramento where the applicant has constructed homes similar to the proposed project (see Figure 3). These homes provide a high level of design detail and architectural articulation. The home will feature steeply pitched roofs, a 3-coat stucco finish, and many decorative

Figure 3: Example of product type



elements including exposed barge rafters, iron railings, trellises, and corbels to accent the homes.

The landscaping plan incorporates a variety of trees and shrubs that will accent the existing evergreen elm street trees. The mix of evergreen and deciduous trees, shrubs and ground cover will provide visual relief and screening of undesirable views. Staff has reviewed the typical landscape plans and found them to be consistent with the original Major Project Permit and the Community Design Guidelines for Compact Residential Subdivisions. The landscaping plan seeks to maximize the planting area of the public spaces by providing disconnected walkways and plantings at the end of alleyways. The plan will incorporate a mix of appropriate sized trees and shrubs as shown in Exhibit E. In addition, the applicant has worked with the City's Parks Department on the design of the urban relief lots. The Parks Department reviewed the design of the lots for usability and maintenance concerns. The Parks Department recommends approval of the conceptual design of the urban relief areas (Exhibit F).

Development Agreement Amendment

The Development Agreement Amendment proposes one significant change to the original agreement (Exhibit H). This item is related to the urban relief areas proposed for the subdivision. The plan contains two small passive recreation and green space areas for residents and the public to enjoy. The original plan and development agreement required the Home Owners Association to own and maintain these areas as a private amenity for the project. The property owner now requests that the City own and maintain these amenities. The City's Parks Department has agreed to this request provided that the Homeowners within the project pay for the cost of maintenance and administration of the urban relief lots, street trees, and parking areas adjacent to the lots. The Development Agreement Amendment requires that the project amend the Community Facilities District to cover these costs. It also requires construction of the urban relief areas be completed before the fifteenth home within the subdivision receives final occupancy, or occupancy of the homes on lots 79-84, whichever occurs first. If approved the Development Agreement Amendment will ensure that the urban relief areas are constructed when the first residents of the project occupy their homes. The Development Agreement will also guarantee a perpetual funding mechanism for maintenance of the lots.

SUMMARY

As discussed above Staff reviewed the project for consistency with the previous Major Project Permit, General Plan, North Roseville Specific Plan, and Community Design Guidelines for Compact Residential Subdivisions. With the few minor changes discussed above, Staff found the project to be consistent with these documents.

ENVIRONMENTAL DETERMINATION

This project is consistent with the NRSP EIR Addendum and Initial Study and Mitigated Negative Declaration that were previously adopted for the project. No further CEQA action is required for the project.

RECOMMENDATION

The Planning Department recommends that the Planning Commission take the following action:

- A. Adopt the two (2) findings of fact as listed below for the MAJOR PROJECT PERMIT (STAGES 1 and 2) MODIFICATION – 10000 DIAMOND CREEK BLVD. (NRSP PARCEL DC-31A) - FILE # 2009PL-059 (PROJECT# MPP-000035):

1. *The proposed modification is substantially consistent with the intent of the original approval.*
 2. *The proposed modification complies with all applicable standards and requirements of this title, with the applicable goals, policies and objectives set forth in the General Plan, the applicable Community Design Guidelines and the applicable Specific Plan.*
- B. Approve the MAJOR PROJECT PERMIT MODIFICATION (STAGES 1 and 2) – 10000 DIAMOND CREEK BL. – NRSP PCL DC-31A – FILE #2009PL-059 (PROJECT# MPP-000035) - as shown in Exhibits A – G and subject to sixty-five (65) conditions of approval below.
- C. Recommend that the City Council adopt the five (5) findings of fact as listed below for the DEVELOPMENT AGREEMENT AMENDMENT for NRSP PARCEL DC-31A – 10000 DIAMOND CREEK BLVD – FILE# 2009PL-059 (PROJECT# DA-000050) ;
1. *The Development Agreement is consistent with the objectives, policies, programs and land use designations of the City of Roseville General Plan;*
 2. *The Development Agreement is consistent with the City of Roseville Zoning Ordinance;*
 3. *The Development Agreement is in conformance with the public health, safety and welfare;*
 4. *The Development Agreement will not adversely affect the orderly development of the property or the preservation of property values; and*
 5. *The provisions of the Development Agreement will provide sufficient benefit to the City to justify entering into the Agreement.*
- D. Recommend that the City Council approve the DEVELOPMENT AGREEMENT AMENDMENT for NRSP PARCEL DC-31A – 10000 DIAMOND CREEK BLVD. – FILE #2009PL-059 (DA-000050), as shown in Exhibit H.

CONDITIONS OF APPROVAL

1. This Major Project Permit Modification approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire on **January 26, 2014**. Prior to said expiration date, the applicant may apply for an extension of time. (Planning)
2. The 84-lot DC-31A project is approved as shown in Exhibits A - G for single family detached units and as conditioned or modified below. (Planning)
3. The 2nd and 3rd floor windows of residences constructed on the lots adjacent to Blue Oaks Boulevard with a view of the roadway shall have a minimum STC rating of 30. (Planning, Building)
4. If Recycled Water is used the Developer shall prepare City's Engineer Report for submittal to and review by the State Regional Water Quality Control Board (RWQCB) and Department of Health Services documenting the use of recycled water in the Property. Prior to submittal to the State RWQCB, Developer shall obtain approval of the City Environmental Utilities Director. Recycled Water shall not be provided for use within the property until the City Engineer's Report has received all required State approvals. (Environmental Utilities)
5. As part of its development of the project, Developer and his successors shall not provide water stubouts for the installation of water softeners. Property CC&Rs shall prohibit the use and installation of water softeners. (Environmental Utilities)

6. Landowner shall install a re-circulating hot water system or similar technology that provides instantaneous hot water at each hot water faucet within each of the homes. Such a requirement shall not necessitate a hot water pump at each fixture in a residence. (Environmental Utilities)
7. If recycled water is used, developer shall disclose to all buyers that recycled water shall be used for irrigation of parks and landscape setbacks, medians, paseos, and other landscape areas including all multi-family and non-residential landscaping uses. Such disclosures shall be included in the CC&Rs for the Property. (Environmental Utilities)
8. Developer agrees to pay City \$170 (subject to any City wide increase for this charge) per single-family residential units for one (1) 90-gallon automated refuse container and one (1) automated green waste container at issuance of building permit.(Environmental Utilities)
9. Developer shall require construction contractors and subcontractors to reduce construction waste by recycling a minimum of 50% of construction materials or that all construction debris be delivered to the Placer County Western Regional Materials Recovery Facility where recyclable material will be removed. Developer shall require that contractors and subcontractors submit records monthly of waste diversion and disposal to the City's Environmental Utilities Department in order to verify compliance with this requirement. (Environmental Utilities)
10. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan view and in profile view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)
11. Easement widths shall comply with the City's Improvement Standards and Construction Standards. (Environmental Utilities, Electric, Public Works)
12. Lot A shall be dedicated to the City for Landscaping and Urban Relief. (Parks, Public Works)
13. The street names shall be approved by the City of Roseville. (Public Works)
14. The subject property shall amend North Roseville Community Facilities District (CFD) #2 concurrent with the submission of the Model Home building permits. It is the applicant's responsibility to prepare the appropriate documentation for the addition of a new improvement zone to cover the maintenance costs for the public urban relief areas. In order for the new improvement zone in North Roseville CFD #2 to be in place at the beginning of the Mello Roos tax year, the documentation shall be provided to the Finance Department not later than July 15 of the fiscal year in which this new improvement zone will become effective. (Finance, Engineering)
15. The Final/Parcel Map shall include an irrevocable offer to dedicate public rights-of-way and public and/or private easements as required by the City. Lettered Lot//Parcel along major roads shall be dedicated as landscape/pedestrian/public utility easements and in fee to the City as open space. (Engineering)

16. The applicant shall pay City's actual costs for providing plan check, installation and inspection services. This may be a combination of staff costs and direct billing for contract professional services (Environmental Utilities, Engineering)
17. The grading and improvement plans shall be designed in accordance with the City's Improvement Standards and Construction Standards and shall reflect the following:
 - a. Street improvements including, but not limited to, curb, gutter, sidewalk, pavement, drainage systems, traffic striping, signing, medians and markings, etc. along all existing and proposed City streets, as required by Engineering.
 - b. Grading shall comply with the City grading ordinance. Erosion control devices (sediment traps, ditches, straw bales, etc.) shall be shown on the grading plans. All erosion control shall be installed prior to the onset of wet weather. Erosion control is installed to minimize silt discharge from the project site. It is incumbent upon the applicant to ensure that necessary measures are taken to minimize silt discharge from the site. Therefore modification of the erosion control plan may be warranted during wet weather conditions.
 - c. A rough grading permit may be approved by the Engineering Department prior to approval of the improvement plans.
18. The applicant shall apply for and obtain an encroachment permit from the Engineering Department prior to any work conducted within the City right-of-way. (Engineering)
19. Positive drainage shall be provided for all lots. Lots shall drain either to the alley ways or to the streets. Prior to the approval of improvement plans, a grading plan and drainage study shall be prepared that demonstrates that positive drainage will be managed along with protection from 100-year storm flows. The drainage study shall demonstrate that all streets conform to the maximum allowable inundation for surface flow. (Engineering)
20. "Prior to the commencement of grading operations, the contractor shall identify the site where the excess/borrow earthen material shall be imported/deposited. If the borrow/deposit site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified." (Engineering)
21. The City shall not accept any improvements for Phase B or C prior to acceptance of the Phase A improvements. (Engineering)
22. Improvements to be constructed with Phase "C" shall include, but not be limited to, full improvement to Parkside Way and "B" Street North. (Engineering)
23. The alley ways shall be built to a width of 22 ft. as measured from back of curb to back of curb. The rolled curb and gutter shall be 18 inches wide and the alley ways shall be crowned in the middle with 2% slopes towards the gutter. All alley ways shall be designed with a T1 of 7 and shall have a minimum structural section comprised of 3 inches of asphalt concrete on top of 9 inches of aggregate base. At both ends of the alley, signs shall be posted stating that there is "No Parking in the Alley at Anytime". As required for emergency vehicle access, grass pavers to accommodate turning radii shall be added behind curb returns to the satisfaction of Engineering and Fire. (Engineering, Fire)

24. The applicant shall dedicate all necessary rights-of-way for the widening of any streets required with this entitlement. A separate document shall be drafted for approval and acceptance by the City of Roseville, and recorded at the County Recorders Office. (Engineering)
25. The grading plans for the site shall be accompanied with a shed map that defines that area tributary to this site. All drainage facilities shall be designed to accommodate the tributary flow. All on-site storm drainage shall be collected on site and shall be routed to the nearest existing storm drain stub of natural drainage coarse. (Engineering)
26. All storm drainage shall be collected on site and shall be routed to the nearest storm drain system or natural drainage facility. Prior to discharge from the site, the storm water shall be treated with appropriate storm water pollution treatment device(s). (Engineering)
27. The grading plans shall be accompanied with engineered structural calculations for all retaining walls greater then 4 feet in height. All retaining walls shall be of cast in place concrete with fascia treatment and cap. (Engineering, Planning)
28. Sight distances for all driveways shall be clearly shown on the improvement plans to verify that minimum standards are achieved. It will be the responsibility of the project proponent to provide appropriate landscaping and improvement plan design together with any required relocation and/or modification of existing facilities to meet these design objectives. (Engineering)
29. Prior to the approval of the Improvement Plans, the project proponent shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) to the City, as defined by the Regional Water Quality Control Board. The SWPPP shall be submitted in a single three ring binder. Upon approval, the SWPPP will be returned to the project proponent during the pre-construction meeting. (Engineering)
30. Water and sewer infrastructure shall be designed and constructed pursuant to the adopted City of Roseville Improvement Standards and Construction Standards and shall reflect the following:
 - a. Sewer and water service laterals shall not be allowed off of water and sewer mains larger than 12 inches in diameter. (Environmental Utilities)
 - b. Utilities or permanent structures shall not be located within the area which would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12' unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes. (Environmental Utilities)
 - c. Water and sewer mains shall not exceed a depth of 12' below finished grade, unless authorized in these conditions. (Environmental Utilities)
 - d. All sewer manholes shall have all-weather 10-ton vehicular access unless authorized by these conditions. (Environmental Utilities)
 - e. Where a water or sewer service is installed on a lot, other than the one in which it serves, the service shall be installed in a 4' private easement. (Environmental Utilities)
31. Any backflow preventor visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventors shall be screened with landscaping and shall comply with the following criteria:

- a. There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventor to the landscaping.
 - b. For maintenance purposes, the landscaping shall be installed on a maximum of three sides and the plant material shall not have thorns.
 - c. The control valves and the water meter shall be physically unobstructed.
 - d. The backflow preventor shall be covered with a green cover that will provide insulation.
32. A note shall be added to the Improvement Plans stating that all water backflow devices shall be tested and approved by the Environmental Utilities Department prior to the Notice of Completion for the improvements. (Environmental Utilities)
 33. Fire hydrants shall be located as required by the Fire Department. The maximum distance between fire hydrants shall not exceed 500' on center. (Fire)
 34. Minimum fire flow is 1,500 gallons per minute with 20 lbs. residual pressure. The fire flow and residual pressure may be increased, as determined by the Fire Marshal, where the project utility lines will serve non-residential uses. (Fire)
 35. Fire hydrants in cul-de-sacs shall be located within 250-feet of the center of the bulb, and shall not be located at the end of a cul-de-sac. (Fire)
 36. Fire apparatus access roads shall be provided in accordance with Section 901 and Sections 902.2 for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building or facility. (Fire)
 37. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (34 tons GVW) and shall be provided with an AC pavement surface so as to provide all-weather driving capabilities. (Fire)
 38. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. (Fire)
 39. Turning radius requirements for emergency vehicle apparatus is 48' outside and 34' inside. (Fire)
 40. A minimum 3-foot clear space shall be provided and maintained around all fire protection equipment. (Fire)
 41. Parking restrictions may be implemented as needed to maintain public safety. (Fire)
 42. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)
 43. Developer must divulge to potential buyer the existence of an overhead 60kV pole line to remain on the north side of Blue Oaks Blvd. contiguous with this project. This notification shall be included in the CC&R's and provided to all potential buyers.

44. All Electrical Department facilities, including street lights where applicable, shall be designed and built to the "City of Roseville Specifications for Residential Trenching". (Electric)
45. The design for electrical service for this project will begin when the Electric Department has received a full set of improvement plans for the project. (Electric)
46. The location and design of the gas service shall be determined by PG&E. The design of gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
47. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)
48. The following easements shall be provided and shown on the Final/Parcel Map or by separate instrument, unless otherwise provided for in these conditions:
 - a. A 9 foot wide PUE along south side of 'A' Street and along both sides of 'C' Street. This reduced easement is adequate for Electric, developer to get approvals from the other utilities (telephone, gas & cable). (Electric)
 - b. A 12.5 foot wide PUE along both sides of 'B' Street South and 'B' Street North. (Electric)
 - c. A 12.5 foot wide PUE along the south side of Lot A following along the adjoining alley way to Lot 79. (Electric)
 - d. Additional easements to encompass the transformers and their working clearances will need to be granted after those locations are determined. This was per the developer's request, because he did not want to meander the sidewalk at the transformer locations and would like the transformers behind sidewalk. (Electric)
 - e. A 28 foot wide PUE along the centerline of all private alley ways. (Electric)
 - f. The 29' landscape easement along Parkside Way shall be changed to reflect a 29' LE/PUE. The 35' landscape easement along Diamond Creek Boulevard shall be changed to reflect a 35' LE/PUE. (Electric)
 - g. Water and sewer easements; and,
 - h. Private drainage easements (Public Works)
 - i. Private utility easements as approved by the Environmental Utilities and Electric Departments. (Environmental Utilities and Electric)
49. All existing easements shall be maintained, unless otherwise provided for in these conditions. (Environmental Utilities, Electric, Engineering)
50. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor (Environmental Utilities, Electric, Engineering)
51. Lot D shall be dedicated to the City as right of way. (Engineering)

52. All alleys shall be privately owned and maintained by the Home Owners Association (H.O.A). (Engineering)
53. A declaration of Conditions, Covenants and Restrictions (CC&Rs), in a form approved by the City Attorney, shall be recorded on the entire property concurrently with the Final/Parcel Map. The CC&Rs shall include the following items: (Attorney, Planning)
- a. A clause stating that the maintenance of front yard and public area landscaping is the responsibility of the HOA and not the individual homeowners.
 - b. A clause stating that the property owners within this subdivision shall agree to bring trash bins out to the main street. An area is to be provided for cans to be placed 3' apart. (Attorney, Environmental Utilities)
 - c. A clause stating that the private utilities easement is for the benefit of the homeowners and the maintenance of private utility lines within the front yard area.
 - d. A clause stating that garages within each unit shall be kept open and free for the parking vehicles exclusively.
 - e. A clause stating that should the Homeowners vote out of CFD#2 for services, the City may elect to discontinue maintenance of the urban relief lots and street trees and/or elect to lower service levels.
54. The words "traffic control appurtenances" shall be included in the list of utilities allowed in public utilities easements (PUE's) located along public roadways. (Engineering)
55. The Final/Lot/Parcel/Parcel Map shall be submitted per, "The Digital Submittal of Cadastral Surveys". Submittal shall occur after Engineering approval but prior to Council approval (Engineering)
56. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)

OTHER CONDITIONS OF APPROVAL

57. The applicant shall pay City's actual costs for providing plan check, installation and inspection services. This may be a combination of staff costs and direct billing for contract professional services (Environmental Utilities, Engineering)
58. Any relocation, rearrangement, or change to existing electric facilities due to this development shall be at the developer's expense. The electric load demand for this project, now being converted to residential, may result in some modifications or rearrangement of the existing electrical mainline facilities with all costs to be paid by the developer. (Electric)
59. It is the responsibility of the developer to insure that all existing electric facilities remain free and clear of any obstructions during construction and when the project is complete. (Electric)
60. Existing public facilities damaged during the course of construction shall be repaired by the applicant, at the applicant's expense, to the satisfaction of the City. (Engineering)
61. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and

Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Engineering)

62. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor shall notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. Non-emergency releases or notifications about the presence of containers found shall be reported to the Fire Department. (Fire)
63. All plant material shall be maintained under a 90 calendar day establishment period after initial planting. Upon completion of the establishment period, all plant material shall remain under warrantee for an additional 9 months minimum. Any plant material which does not survive during the establishment period shall be immediately replaced. Any trees or shrubs which do not survive during the warrantee period shall be replaced one month prior to the end of the warrantee period. Tree or shrub replacement made necessary due to acts of God, neglect or vandalism shall be exempt from the warrantee. (Parks)
64. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
65. The project shall comply with all applicable environmental mitigation measures identified in the Addendum to the North Roseville Specific Plan (NRSP) EIR and Mitigated Negative Declaration for NRSP Parcels DC-30, 31 and 33.
 - a. The 2nd and 3rd floor windows of residences constructed on the lots adjacent to Blue Oaks Boulevard with a view of the roadway shall have a minimum STC rating of 30. (Planning, Building)
 - b. The contractor shall comply with the dust control strategies developed by the Placer County APCD. The developer shall include in construction contracts the following requirements or measures shown to be equally effective:
 - (i) The contractor shall water as indicated by City inspectors to keep all earth surfaces moist during clearing, grading, earthmoving and other site preparation activities.
 - (ii) The contractor shall sweep streets within and adjacent to the project as needed or as directed by City inspectors.
 - (iii) The contractor shall schedule clearing, grading and earthmoving activities during periods of low wind speeds, and restrict those construction activities during high wind conditions with wind speeds greater than 20 mph average during an hour.
 - (iv) The contractor shall minimize open burning of wood and vegetative waste materials from both construction and operation of the project. No open burning shall occur unless it can be demonstrated to the Placer County APCD that alternatives have been explored. These alternatives may include, but are not limited to, chipping, mulching and conversion to biomass fuel. For any open burning, an APCD permit must be obtained in conformance with APCD Regulation 3 (Open Burning), Rules 301-325.

- (v) The applicant shall submit to the District a Construction Emission / Dust Control Plan within thirty (30) days prior to groundbreaking. If the District does not respond within twenty (20) days, the plan shall be considered approved. The plan must address the minimum requirements found in section 300 and 400 of District Rule 228, Fugitive Dust (www.placer.ca.gov/airpollution/airpolut.htm). The applicant shall keep a hard or electronic copy of Rule 228, Fugitive Dust on-site for reference.
 - (vi) The Construction Emission/Dust Control Plan shall include a comprehensive inventory (i.e. make, model, year, emission rating) of all heavy-duty off-road equipment (50 horsepower or greater) that will be used an aggregate of 40 or more hours for the construction project. The project representative shall provide the District with the anticipated construction timeline including start date, and name and phone number of the project manager and on-site foreman. The plan shall demonstrate that the heavy-duty (> 50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet-average 20 percent NOx reduction and 45 percent particulate reduction compared to the most recent CARB fleet average. The District should be contacted for average fleet emission data. Acceptable options for reducing emissions may include use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available. Contractors can access the Sacramento Metropolitan Air Quality Management District's web site to determine if their off-road fleet meets the requirements listed in this measure.
http://www.airquality.org/ceqa/Construction_Mitigation_Calculator.xls
 - (vii) Clean earth moving construction equipment with water, or sweep clean, once per day, or as necessary (e.g., when moving onsite), consistent with NPDES BMP's, local ordinances and municipal codes. Water shall be applied to control dust as needed to prevent dust impacts offsite. Operational water truck(s), shall be onsite, as required, to control fugitive dust. Construction vehicles leaving the site shall be cleaned, as needed, to prevent dust, silt, mud, and dirt from being released or tracked off-site.
 - (viii) Spread soil binders on unpaved roads and employee/equipment parking areas. Soil binders shall be non-toxic in accordance with state and local regulations. Apply approved chemical soil stabilizers, or vegetated mats, etc. according to manufacturer's specifications, to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
 - (ix) Minimize diesel idling time to a maximum of 10 minutes.
 - (x) Use California Air Resources Board (CARB) low-sulfur diesel fuel.
 - (xi) Utilize existing power sources (e.g., power poles) or clean fuel generators rather than temporary diesel power generators, if feasible.
- c. To reduce onsite, long term operational emissions, the developer shall include in construction documents the following requirements or demonstrate compliance with the following measures, or measures shown to be equally effective:
- (i) Exceed California Title 24 energy requirements. Areas of Title 24 to be exceeded are to be determined by applicant and the City.

- (ii) Install a gas outlet in all outdoor recreational fire pits, and permanently installed cooking appliances.
- (iii) Only natural gas fireplace appliances are permitted. Where propane or natural gas service is not available, only U.S. EPA Phase II certified wood-burning devices shall be allowed in single-family residences. The emission potential from each residence shall not exceed 7.5 grams per hour. Wood-burning or Pellet appliances shall not be permitted in multi-family developments. (Note: U.S. EPA will be lowering the PM2.5 24-hour standard. If this standard were in effect now, we would be a non-attainment area for this standard and the Sacramento Valley Air Basin is non-attainment with the State annual PM2.5 standards.)
- (iv) Install photovoltaic roofing tiles for solar power, when feasible. Recommend participation in the City of Roseville Electric Department “Advantage” program (incentive program for construction of energy-efficient homes and commercial development).

ATTACHMENTS

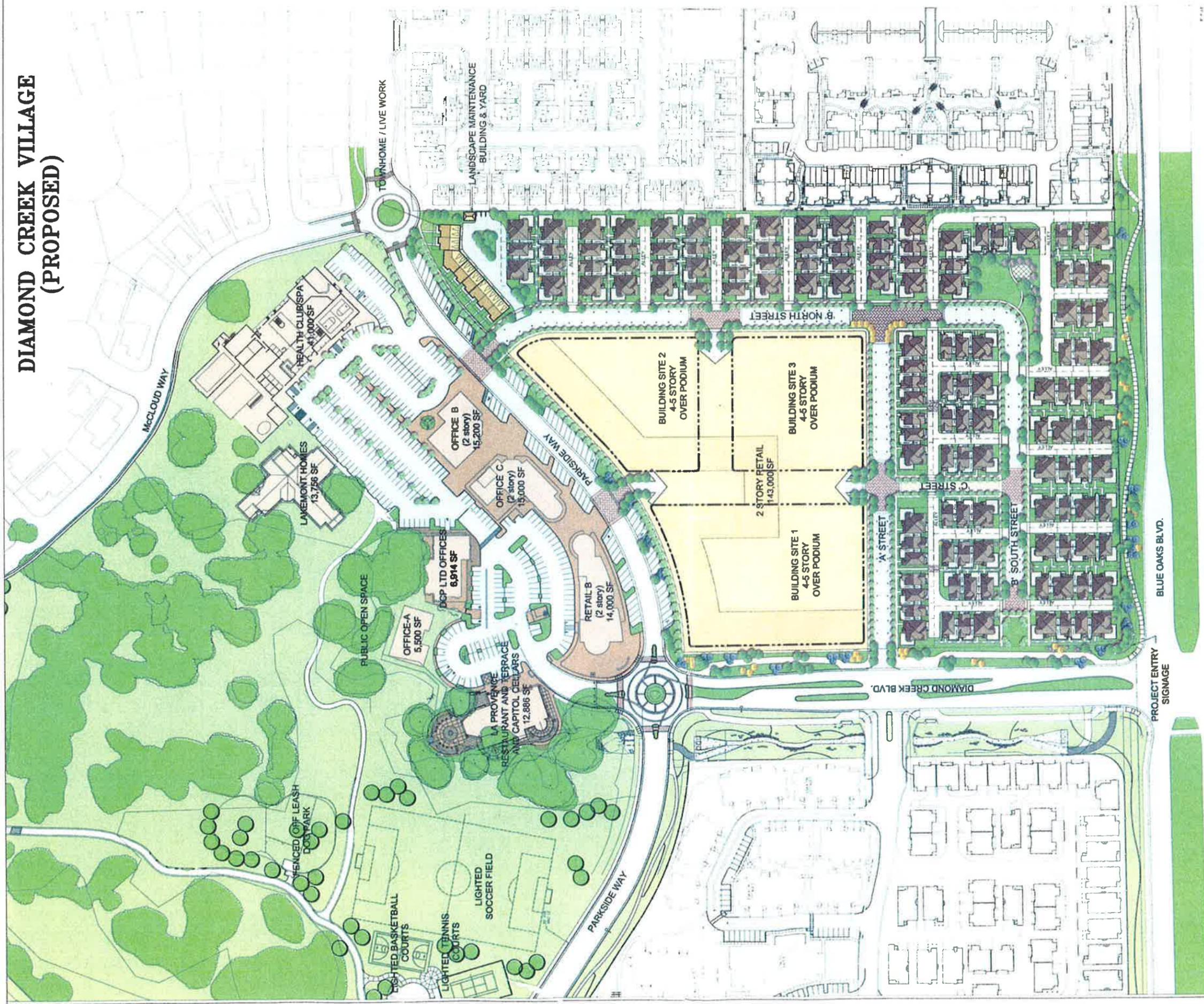
- 1. MPP-000004 Conceptual Site Plan
- 2. MPP-000004 Concept Book
- 3. Architectural Renderings of the project

EXHIBITS

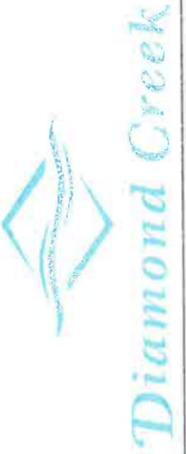
- A. Site Plan
- B. Development Standards Table
- C. Proposed Elevations
- D. Proposed Floor Plans
- E. Landscape Plan
- F. Landscape Plan for Urban Relief Lots
- G. Fencing Plan
- H. Proposed Development Agreement

Note to Applicant and/or Developer: Please contact the Planning Department staff at (916) 774-5276 prior to the Commission meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Commission in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing.

DIAMOND CREEK VILLAGE (PROPOSED)



COOLEY MIDDLE SCHOOL



UBORA ENGINEERING & PLANNING
 290 DOUGLAS BOULEVARD, SUITE 205
 ROSELLE, CA 95061 (916) 796-5500
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ANDREGG GEOMATICS
 800-860-7877

REINERS INC.
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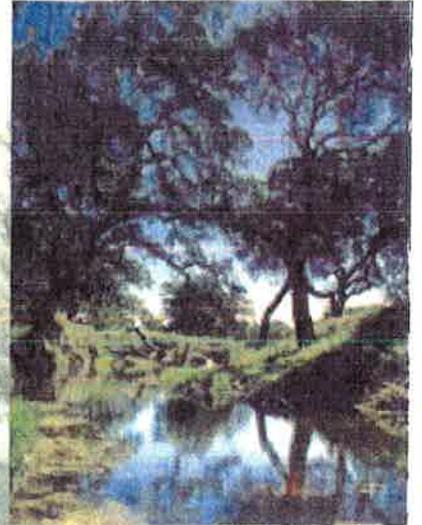
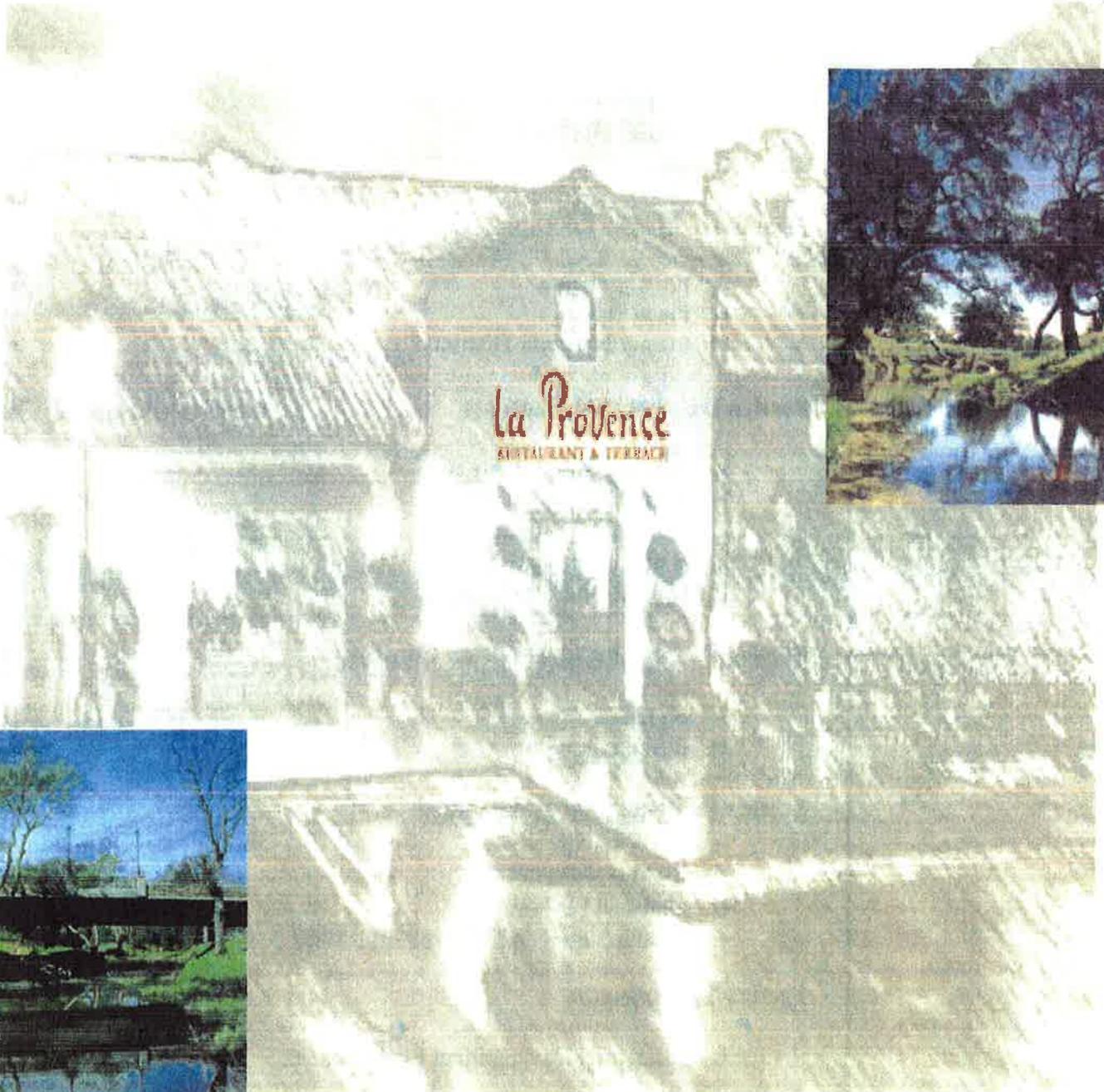
DIAMOND CREEK
 P A R T N E R S, L T D

A.R. ASSOCIATES
 2715 Kettner Blvd., Suite 200
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 1140 Third Street, Suite 2071 (Level 2), San Diego, CA 92101
 619-594-1928



Diamond Creek Commercial and Residential Village Concept Book



Diamond Creek
P A R T N E R S, L T D

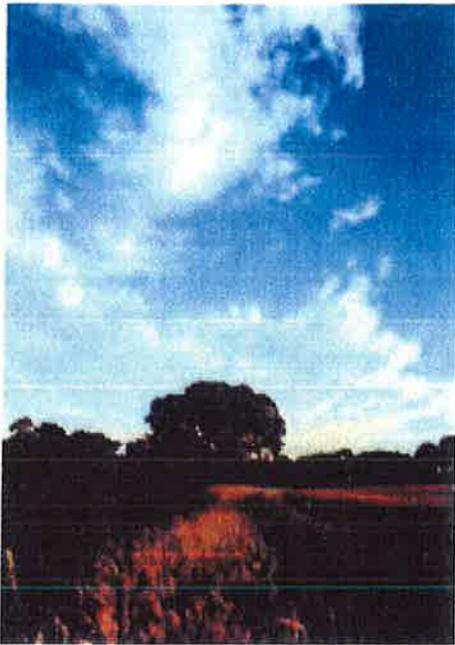
DAHLIN GROUP
ARCHITECTURE
PLANNING

NOVEMBER 2, 2006

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NOTE: Upon the City of Roseville’s approval of this concept book, a ‘final printing’ will be produced where graphics and photos will be refined.



SECTION I. INTRODUCTION

A. Purpose of Concept Book

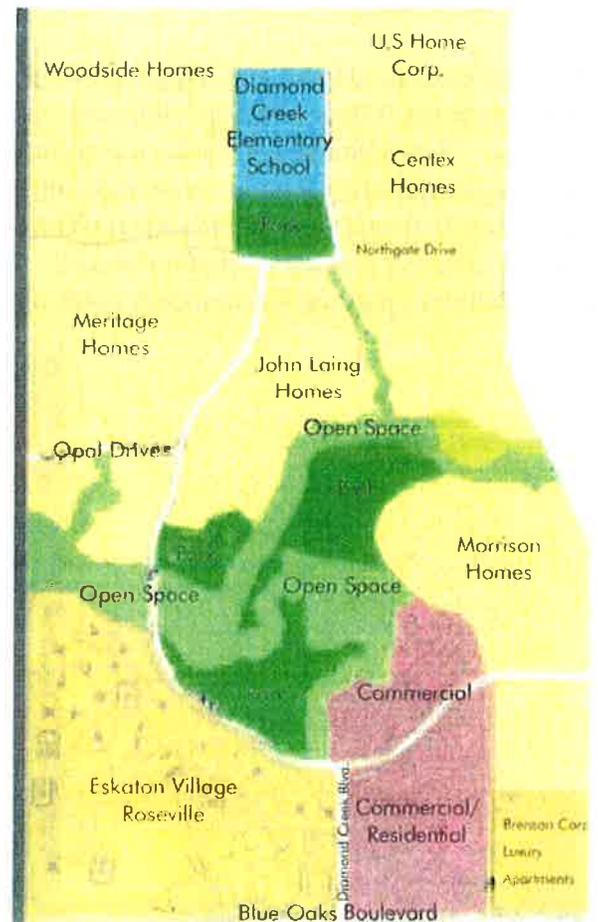
There are two primary objectives behind the concept book. The first is to provide the City of Roseville and Diamond Creek Partners with a guiding document that ensures a high quality project. The second purpose is to streamline the entitlement process for individual projects within the Master Plan. This concept book is intended to be a companion document to the Stage I and Stage II Major Project Permit Plans. This document will be used by the City of Roseville and Diamond Creek Partners to evaluate individual projects within the Master Plan and provide consistency within a multi-phased, multi-year project Master Plan. This document builds upon the City of Roseville Zoning Ordinance, Design Guidelines, and the North Roseville Specific Plan (NRSP).

The Diamond Creek Commercial and Residential Village will be built out over time, and therefore, this concept book retains a significant amount of flexibility for individual building locations and their uses. This flexibility will be critical to the success of the Master Plan by allowing each project to respond to the market condition and business climate through the build-out of the project.

B. Project Overview

The Diamond Creek Commercial and Residential Village is a unique mixed-use center with office, retail, residential and commercial uses within the Diamond Creek master Planned Community, Roseville, California. This 28-acre commercial and residential center is the gateway into the master planned community and is located north and east of Blue Oaks Boulevard and Diamond Creek Boulevard. The offices, shops and commercial activities within the center serve the adjacent Diamond Creek Community as well as residents and businesses within the entire North Roseville Specific Plan area and beyond. The commercial center will provide neighborhood boutique shopping needs as well as community wide retail and services, serving a dual role as a public and civic hub of the Diamond Creek Master Plan, as well as, a destination experience for residents throughout the city of Roseville and the greater Sacramento area.

Project Site



SECTION II. MASTER PLAN CONCEPT

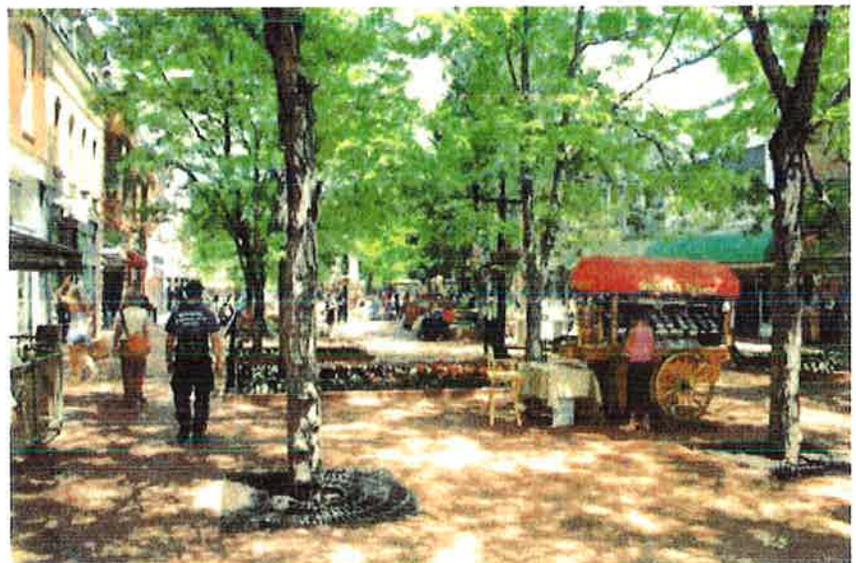
A. Project Theme

The overall style of the Diamond Creek Commercial Center is influenced by the Provence region of France. The architectural style, residences, the scale of the buildings, the placement of the buildings, and the resulting outdoor spaces are designed to be reminiscent of a southern French village. The project will appear to have been built over time through varied building placement, façade treatments, rooflines and pedestrian paving. Once completed, the Diamond Creek Commercial Center and residential component will be a place with unique character, human scale, unpredictability, and a sense of discovery and romance.



B. Place Making

Perhaps the most significant guiding principle of the Diamond Creek commercial Center and neighborhood Master Plan is the feeling of being “built over time”. Equally important is the Project’s adjacency to parks and open space. This is intended to create a comfortable sense of place unique to the region. To accomplish this, careful consideration must be given to each and every built feature within the commercial center. The entire project is much greater than its individual elements, therefore, there must be a close collaboration between the functional elements and the aesthetic elements. This Master Plan encourages a blend between landscape and building, between parking lots and pedestrian plazas, between the built and the natural.

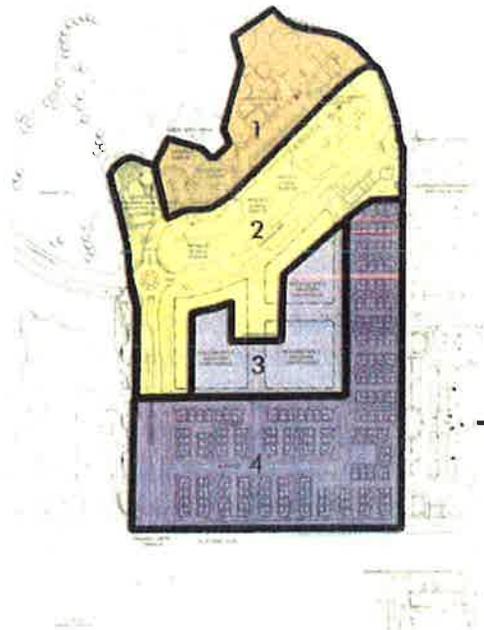


C. Master Plan Sub-Districts

Within the Diamond Creek Commercial Center there are four unique sub-districts. The sub-districts are distinguished by the site planning and landscape architecture rather than by the buildings within them. And although there may be some architectural distinction within the districts, generally the architecture throughout the entire Master Plan is unified in concept and becomes a common thread between each of the four districts. These boundaries may be modified based upon actual market demands, eg., office conversion to retail. The four districts are described as follows:

1. Garden Office

The Garden Office district relates to the adjacent community park and open-space along the tributary to Pleasant Grove Creek and the existing oak trees along its Northerly boundary. This district seeks to blend architecture with the existing setting of the creek and open-space by creating Garden Office environments. Each building in this district has been carefully placed along the open-space to maximize window views and the natural habitat amenity. Oak tree impact has been minimized while providing closeness and intimacy between buildings and existing oaks through carefully planned encroachments into the dripline. Within the Garden Office district, plant material will be selected that blends with the surrounding openspace, as well as the natural oak riparian habitat to act as a transitional landscape into the remainder of the commercial center.



2. Parkside Way Mixed-Use

This sub-district is organized around Parkside Way. It is envisioned to be an active street with diagonal parking, store front retail / office buildings, and pedestrian scaled street amenities that give Parkside Way a “Main Street” feel. The Parkside Way mixed-use district is anchored at one end with a vehicular round-about and the other end with an entry feature or small round-about. Multiple pedestrian cross-walks, a tree-lined street and on street parking guarantee that this will be a truly unique retail experience within the City of Roseville.



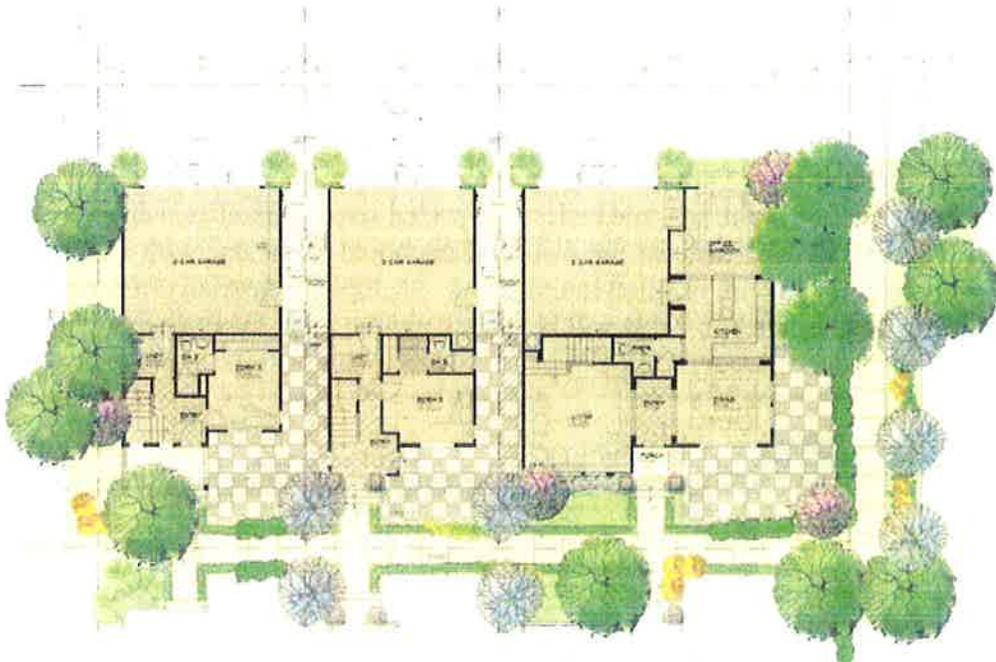
3. Multi-Family Residential

Featuring 4 to 5 story condominium and living over a 'podium' deck with shared use parking below. The edge across from the single family residential will have townhomes or a townhome 'feel' with pedestrian articulation.



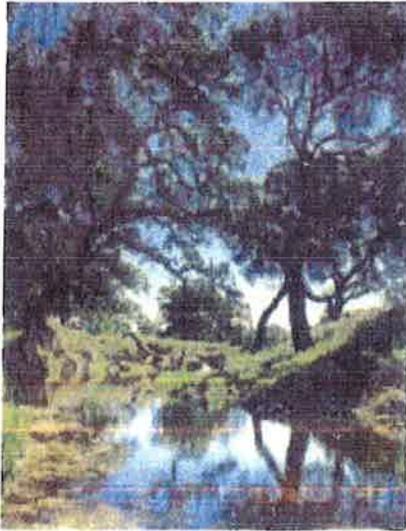
4. Single Family Residential

Featuring two- and three-story, single family detached homes, this intimate neighborhood is reminiscent of the Provence region of France. The buildings evoke this French style with the appropriate use of materials and landscape design. The creative design offers a sophisticated blend of public and private spaces at higher densities that encourage privacy without compromising a strong sense of community. In an effort to promote a more sustainable community, Diamond Creek will provide a landscape maintenance and green waste program. A maintenance building and yard, as well as a green waste program will be located on site.



SECTION III. SITE PLAN CONCEPTS

A. Existing Site Conditions



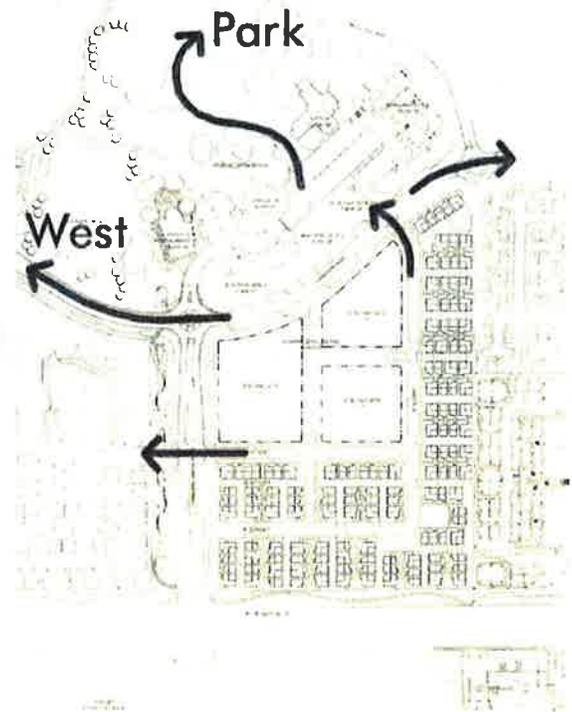
The Diamond Creek Commercial and Residential Village is generally on flat terrain, with minimal obstacles to development. The Northerly adjacency is an open-space area adjacent to Pleasant Grove Creek and provides a transition into the community park. Pedestrian and bicycle linkages will occur along this boundary. On the Easterly side of the site is a medium family housing project (single family) and a high-density residential project (apartments) as prescribed in the North Roseville Specific Plan. The Southerly boundary is Blue Oaks Boulevard where landscaping and setbacks will be provided as prescribed by the NRSP. On the Westerly boundary Diamond Creek Boulevard separates the 'for sale' residential component from Eskaton Village, a senior retirement and assisted care facility. Pedestrian and vehicular linkages to Eskaton have been provided. Landscaping will be provided along Diamond Creek Boulevard as per the NRSP. Where existing oak trees occur along the proposed residential component and Northerly boundary, they will be protected in place wherever practical and shall be treated as an amenity for the community.

B. Pedestrian Circulation

Throughout the Diamond Creek Commercial and Residential Village there are pedestrian walkways that link the sub-districts together as well as provide access to adjacent parcels, providing a barrier free path of travel between use areas on the site. The Master Plan puts special emphasis on the pedestrian by utilizing special paving and traffic calming solutions, site furnishings, such as seating benches, trash urns, shade structures, shade trees and trellis, etc. With adequate nighttime lighting, the design concept works to assure the pedestrian feels safe and is comfortable.

C. Vehicular Circulation

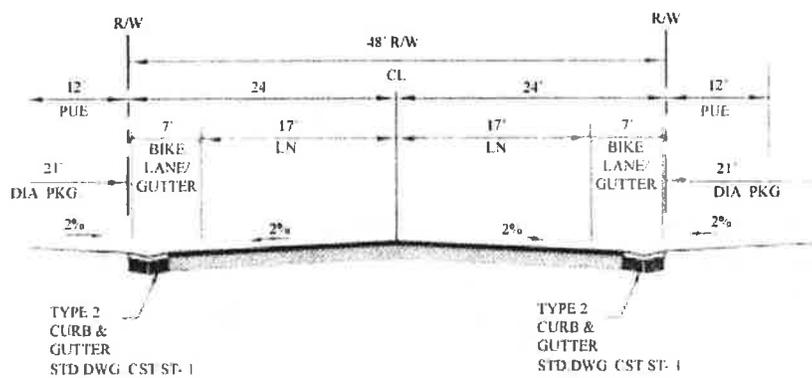
The Master Plan was designed to achieve a balance between the pedestrian and the vehicle. Care was taken to ensure that service and delivery trucks have adequate opportunities to maneuver throughout the project site with minimal pedestrian conflict. Automobiles have a variety of parking opportunities within the commercial and residential center, including surface lot, below grade parking and diagonal on-street parking. Fire truck access and emergency vehicle access have also been considered within the development. The following table illustrates the Master Plan parking solution for the associated retail, residential and commercial uses.



Pedestrian & Bicycle Linkages

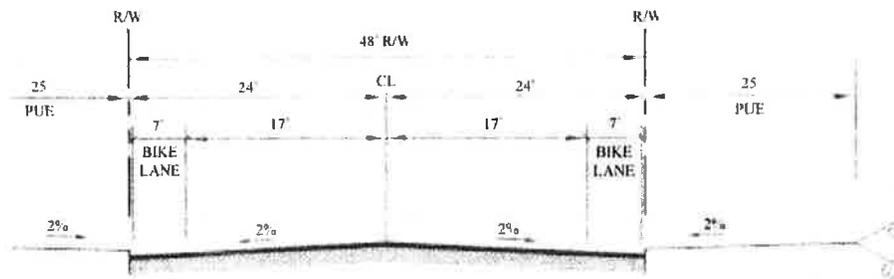
This concept book distinguishes two types of retail/commercial: (1) office, (2) retail. Other uses could occur within these areas such as restaurants, day care, health club etc. Individual building permits will confirm the code for the surface parking facilities. It is assumed within this concept master plan that on street parking along Parkside Way will be credited to the commercial master plan and 308 joint-use/reciprocal parking spaces will be provided to meet required parking. Furthermore, it is anticipated that some of the multi-family buildings will provide some form of structured parking at grade or partially below grade.

This Master Plan modifies the Specific Plan roadway recommendations for Parkside Way. Diagonal parking stalls have been added to both sides of the roadway. The parking stalls are located outside the public right-of-way (R/W) and will allow for City standard pavement widths for automobiles and bicycles.



PROPOSED PARKSIDE WAY SECTION

NOT TO SCALE



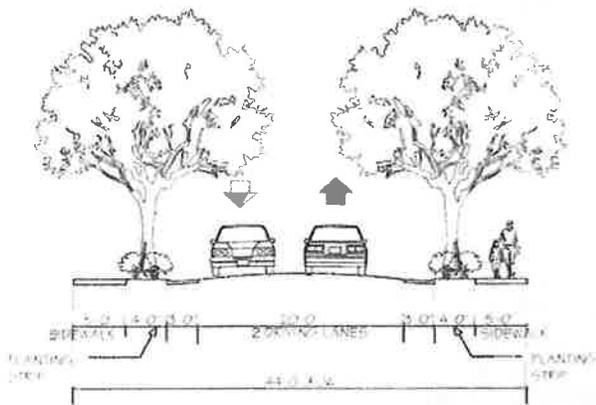
EXISTING PARKSIDE WAY SECTION

NOT TO SCALE

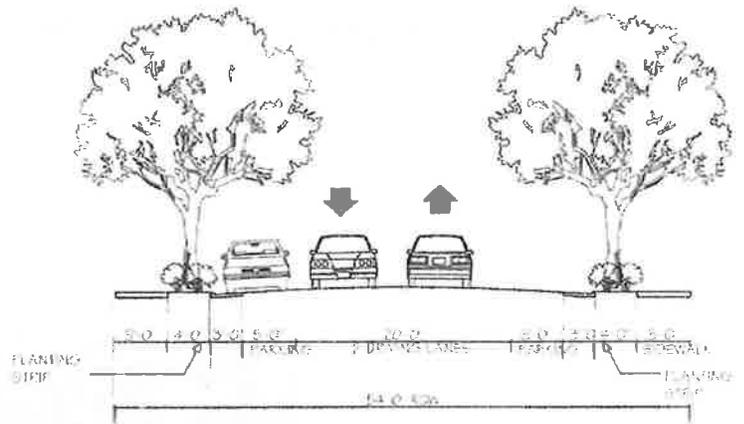
(PER N ROSEVILLE SPECIFIC PLAN)

Master Plan Summary-Residential				
Facility Name	Units	Parking Ratio (1)	Parking Required	Parking Provided
Residential (3)	131	2 / .5	328	TBD
Multi-Family (2)	352 +/-	TBD	TBD	TBD
Total	483 +/-			
Reciprocal parking spaces				
Total Site = 28.0 acres				
(1) garage spaces / guest - on street spaces				
(2) parking under podium deck				
(3) includes single family and non-podium townhomes				

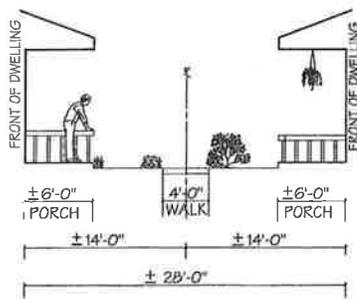
Note: Alleys' and Paseos will be privately owned and maintained by the HOA



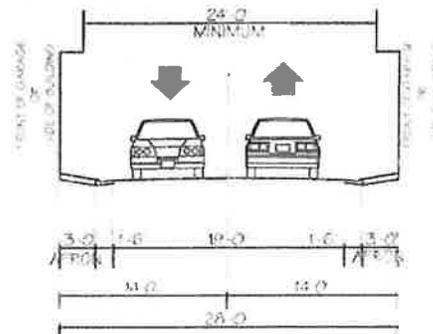
Private Street Without On-Street Parking



Typical Private Street



Typical Paseo



Typical Alley

D. Building Placement

Buildings have been carefully located within the Master Plan to create an interesting pedestrian experience. They have been clustered to create courtyards, stretched out along Parkside Way to create a “Main Street” effect and scattered along the Northerly boundary to provide an informal architectural edge to the open-space. The building footprints are intended to provide conceptual guidance to subsequent architectural studies for individual buildings. The buildings are placed and sized to meet the city parking code and to facilitate concepts within this document, however, the individual building footprints, their facades and all architectural details will be defined for each building at the building department submittal stage.

E. Utilities and Service Areas

Within the Commercial and Residential Center great care shall be taken to screen service areas from the consumer and from the general public. The placement of trash enclosures, back-flow preventors, transformers, and other utilitarian features shall be considered carefully and placed in a way that minimizes their visual impact to the site. Each applicant shall work closely with the City of Roseville Utilities and Electric Department, as well as the purveyors of delivery service and trash collection, etc., to ensure a successful solution to utilities and mechanical features. Dwellings will also be required to screen trash cans from view, yet provide easy access to utility meters and A/C condensers.



SECTION IV. ARCHITECTURAL DESIGN CONCEPTS

A. Style

The overall style of the project is derived from the Provence region of France. The forms, proportions and materials used should be reminiscent of this style. The buildings should not, however be literal interpretations of the historical French styles found in the Provence region. The buildings should evoke an overall impression that the project was built over time. Variation of materials and styles within buildings is encouraged in order to accomplish this. Also important to the style are focal points and view corridors throughout the project that will invite visitors from one point to another within the project.



Style cont.

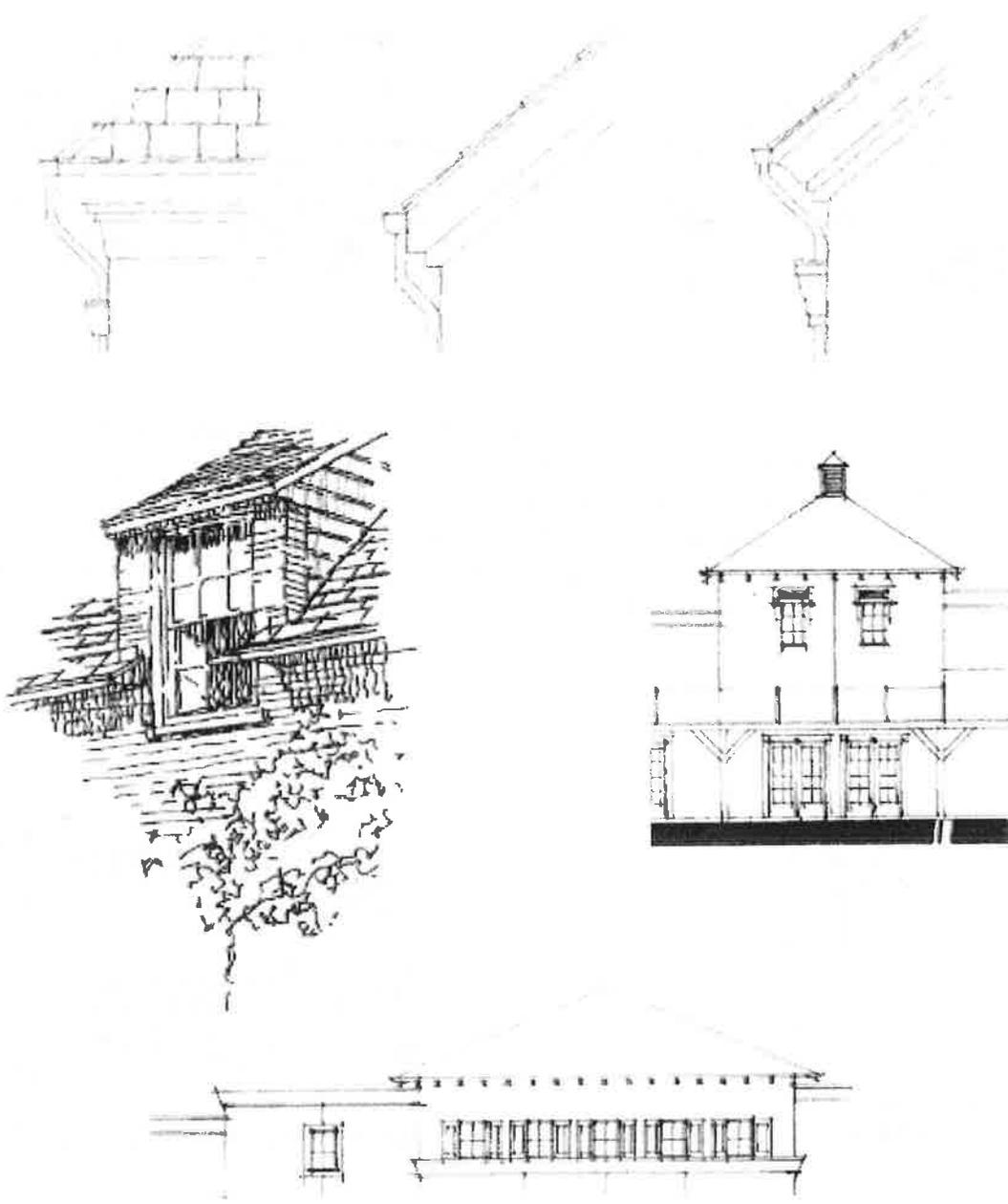
The following details are typical characteristics of the Country French or Country Casual style.

1. Bold asymmetrical massing with some symmetry at front facades or around entries to help create and organize a simple overall form.
2. Roof form may be steeply pitched or shallow, and hipped with double pitched eaves or bell cast (flared) eaves, dormers either glazed or vented.
3. Other distinctive details:
 - a. Balustrade porches
 - b. Bowed and angled bays or windows
 - c. Tall and narrow door and window openings with divided lights
 - d. Soft arch (flattened) windows and doors
 - e. Shutters
 - f. Stone or simulated stone & brick surrounds at key entry points
 - g. Ornate downspouts and wrought iron
4. Color and materials
 - a. Off-white and earth tones accented with rich colors
 - b. Combinations of stucco, stone, brick and wood siding

B. Building Forms

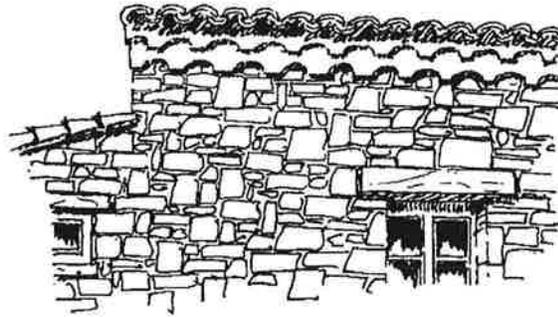
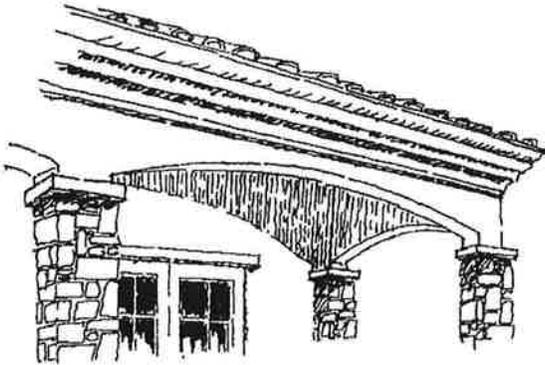
Roofs

Roofs and roof forms should be consistent with the overall theme of the project. Individual roof elements placed in key locations along buildings should convey the “build-over-time” concept in conjunction with building forms. Per the North Roseville Specific Plan adopted August 6, 1997 Section 9.1.3 and 9.1.4 pedestrian areas could be enhanced by shed and gable roof elements that should extend into pedestrian areas to provide cover as well as shade. Dormer elements are also encouraged to provide an added layer of detail and shadow.



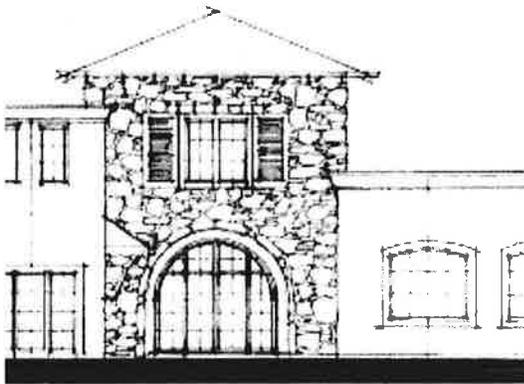
Cornices

Cornice elements are consistent with the street and may be sparingly and appropriately applied to articulate basic building forms and provide differential between individual tenants. Varied cornice elements tend to reinforce the “built-over-time” concept. When used, cornices should provide contrast of color and material the wall areas beneath. Cornice elements should not, however, be of such size or quantity that they become a dominant or overwhelming feature.



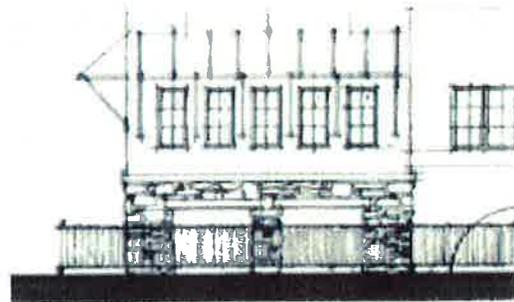
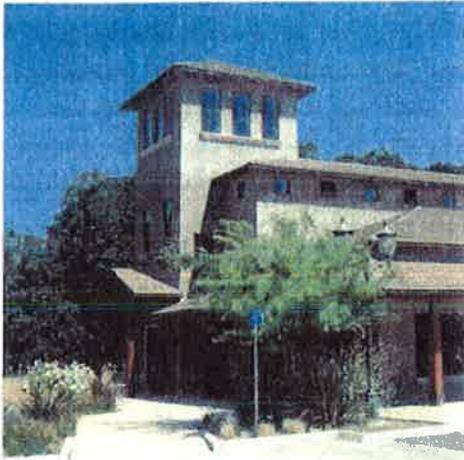
Wall Transitions

A variety of elements should be used to create wall transitions between buildings and tenant spaces. Careful consideration should be given to walls adjacent and oriented to open spaces per North Roseville Specific Plan 9.1.4. Color and texture are the basic elements while towers and other details may be used some cases to frame these transition areas. Simple, intermediate elements that “book-end” areas of wall are encouraged. Whenever possible, color and simple, traditional material changes are encouraged to break wall areas into visually pleasing proportions.



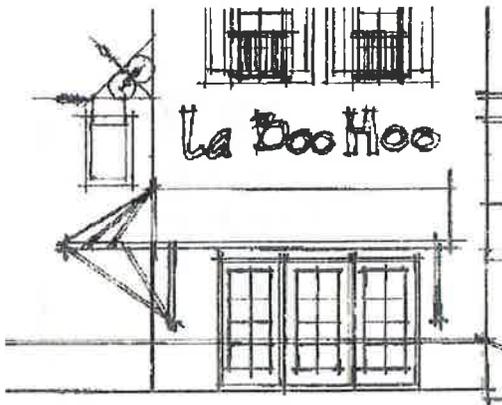
Building Corners

Building corners present an opportunity to simply enhance the visual anchoring of individual structures. It is encouraged to present building corners as focal points to surrounding areas within the project. Thoughtful treatment of building corners provides a change in scale, color and material as well as an opportunity to introduce fenestration as a simple focal detail.



Canopies & Awnings

Judicious use of canopies and awnings is encouraged. These classic details add an additional layer of interest to building facades. A variety of materials may be used including canvas, wood trellises, and shed or gable roof forms. Canopy and awning elements should also provide cover at pedestrian walkways wherever possible. These covered elements should also be placed in such a way as to encourage the play of shadows against buildings.

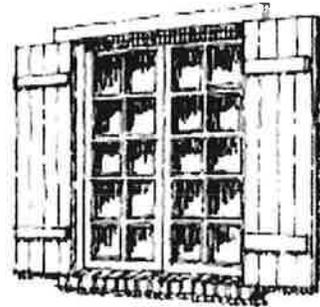
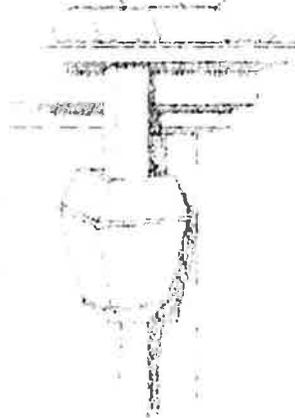
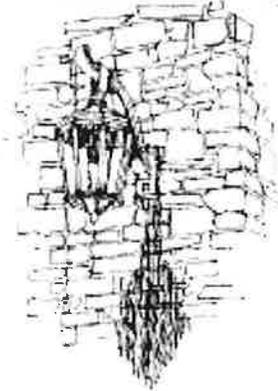
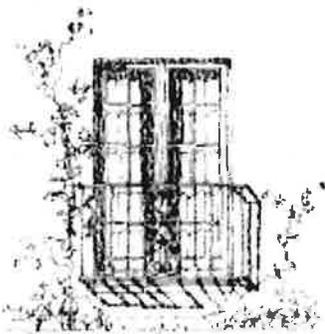


Towers

Tower elements may be considered as germane and appropriate to the style of these buildings, and when situated and massed properly, enhance the project. These elements can serve as a connection between individual buildings, as focal points and as transition spaces. Towers should provide a change in scale, color and material and should utilize fenestration as well.

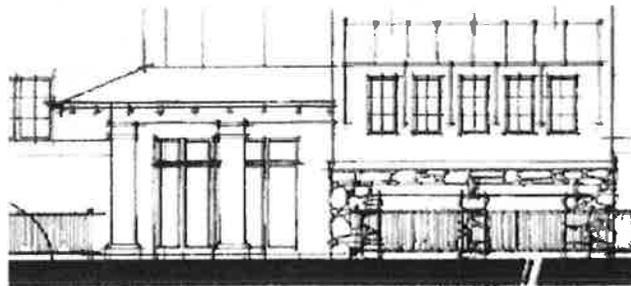
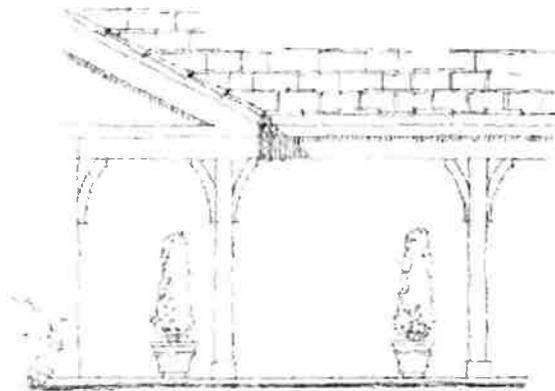
Fenestration

Shape, size and placement of fenestration are important elements that lend positive, yet simple character to the overall theme of the project. Window size and proportion should be appropriate to the individual building style. The window forms used may vary between individual tenant spaces and buildings to subtly reflect to the “built-over-time” concept. Fenestration (especially at a pedestrian fenestration level), is encouraged in the overall building design, but not necessarily appropriate for each and every window. Good, simple, old-world design is fundamental for fenestration integration. Design elements such as shutters, canopies, recesses, iron, etc. should be considered as appropriate fenestration elements.



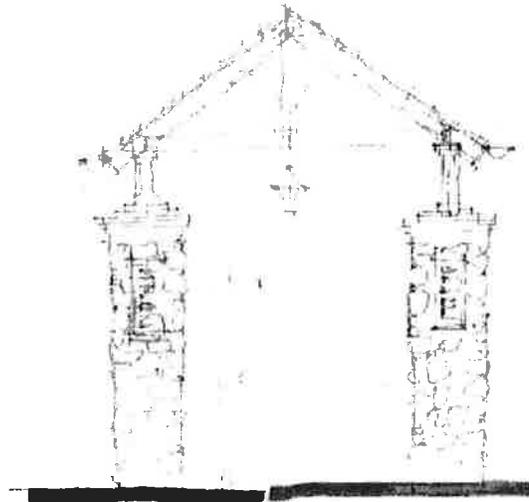
Columns

Columns to add vertical detail are encouraged at key locations throughout the project. Columns should be consistent with the style of the building, including pre-cast and segmented types. Stucco columns may be appropriate in certain cases though discouraged generally.



Kiosks

Kiosks in the project can provide visitors with a variety of services and information. Maps, ATM's and vendors are among the many uses for kiosks. Kiosk elements should be complementary to the architecture of the project and should borrow forms, colors and materials from the main buildings. The basic design should provide shade and protection from the elements to encourage their use – year round. Kiosk designs should vary slightly to reinforce the “built-over-time” theme. Each kiosk should have its own unique characteristics to delineate it from others and allow their use as “landmarks” in assisting pedestrian travel throughout the project.



Signage

Signage for the project should reflect the overall theme and preserve the integrity of the architecture. Signage should provide information and promotion of the shops and tenants within, without distracting from the architecture of the buildings themselves. The use of lighting to accent signage is acceptable. The form, size and font used should vary slightly to maintain the “built-over-time” theme. Pedestrian scale monument signage is also encouraged to guide visitors from one point to another throughout the project.



Materials

Materials reflect the style and overall impression of any building. The materials used for this project should reflect quality and lend to the impression of the overall theme. Listed below are both the encouraged and discouraged materials for this project.

Encouraged:

Smooth and imperfect smooth stucco finishes.

“Style-appropriate” stone.

Wrought iron.

Canvas awnings.

Wood trellises.

Wood columns and beams in key location.

Pre-cast stone trims, heads and sills.

Decorative sheet metal gutters and downspouts. Collectors if and where appropriate.

Wood shutter elements.

Individually articulated window elements.

Discouraged:

Heavy “knock-down” or “Spanish lace” stucco finishes.

Contrived stone veneers.

Unfinished tilt-up wall panels.

Large, unbroken window walls.

Colors

Colors for the project should be consistent with the French Theme. Earth tones for body colors and deep rich colors for accents are encouraged. Colors should be used to bring together the materials used throughout the project. The colors should be used as a complement to stone, concrete, wood, fabrics and other materials.

(Refer to separate Color and Materials Board.)

SECTION V. LANDSCAPE ARCHITECTURE

A. Key Landscape Areas

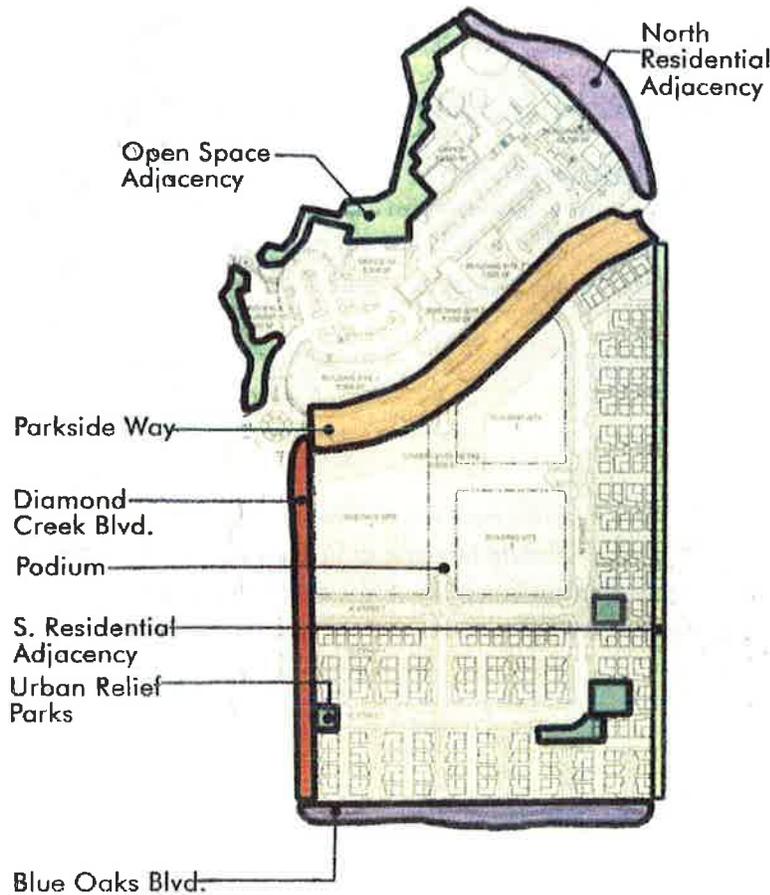
Within the Diamond Creek Commercial Village Master Plan, there are a few key landscapes that are addressed here in the concept book. The following descriptions offer a brief overview of the conceptual approach to landscaping each of these areas.

Open Space Adjacency

The landscaping along the Northerly boundary adjacent to Pleasant Grove Creek and Diamond Creek Community Park shall be treated with native plant material and low water use plants that blend into the natural grasses that exist along the creek. Care will be taken to avoid impacts to the existing oak trees or to introduce plant material that is considered invasive to the natural habitat found in this area.

North Residential Adjacency

The landscape along this residential road shall consist primarily of street trees and turf. Care will be taken to provide a manicured landscape that is consistent with the adjacent residential neighborhood. Visual accessibility between the road and the commercial site will be maintained. Shrubs, trees and groundcover will be selected to avoid visual barriers that will impede safety or to block street lighting along this buffer.



South Residential Adjacency

The landscape strip along the Easterly property line will be planted with tall trees in an effort to create a visual barrier between the residential and commercial uses.

Blue Oaks Boulevard

The 50' landscape easement along Blue Oaks Boulevard shall be planted with trees, shrubs, groundcover and turf per the NRSP guidelines.

Diamond Creek Boulevard

The Master Plan will exceed the 35' landscape easement, recommended by the NRSP, approximately 50' shall be planted with trees, shrubs, groundcover and turf.

The Courtyards

This unique feature within the Master Plan provides opportunities to mingle. It might include textured or colored concrete, concrete pavers, stone, brick, etc., along with more typical materials such as scored concrete. These courtyards will be primarily hardscape but will provide adequate shade trees, seasonal flowers and other plantings of interest. Care will be taken to provide well-lit, barrier free plantings to reduce potential blind spots. Passive solar techniques will be considered, such as deciduous trees on South facing building facades, vines on South facing walls, and water features to cool the air in the courtyard plaza areas.



Paseos and Urban Relief Parks

Public Pocket parks, interspersed throughout the plan, offer visual relief at key vistas, and are linked together via sidewalks and paseos throughout the project.

Podium Deck

This design feature offers opportunities to recapture land previously used by parking spaces. With this more efficient layout the space may be comprised of tree wells, landscape pots or planters used to enhance an otherwise austere environment.

In selected locations alley garaged homes form the perimeter of contained and secure pocket parks where children play under the watchful eyes of neighbors on their porches and in their front rooms.



Park Detail



Paseo Example



Urban Relief Park

B. Plants and Irrigation

Generally, plants will be selected for durability, water conservation, and low maintenance. However, plants will emphasize uniqueness and seasonal color. Emphasis will be placed on meeting the water conservation ordinance. Shade trees shall be used extensively throughout the project. Minimum standards for shade tree coverage in parking lots shall be met. Specific calculations for both water conservation and shade tree ordinance shall be provided with individual Building Department submittals. The entire landscape shall be irrigated with an automatic irrigation system. Separate irrigation service shall be provided between public and private right-of-way landscapes if required by the city. Median and round-a-bout maintenance would be overseen by the Diamond Creek Master Plan.

C. Green Waste Program

In an effort to promote a more sustainable community, Diamond Creek will provide a landscape maintenance and green waste program. A maintenance building and yard, as well as a green waste program will be located on site.



D. Paving Materials and Site Furnishings

The Diamond Creek Master Plan will utilize minimum foot-candle requirements for outdoor lighting recommended by Law Enforcement and as prescribed by industry standards. All pedestrian and parking lot areas shall be lighted at night. Fixtures will vary in size and style depending on in which district they are located. Courtyards and other special areas will have a combination of wall mounted, pole mounted and bollard style lighting. Photometrics demonstrating compliance will be furnished with the Building Department submittal package. Site furnishings such as trash urns, fountains, will be provided and will be in character with the architectural theme. Examples of those furnishings follow:

Paving Materials

Paving materials shall be selected for each individual project. A full range of paving solutions will be utilized throughout the Master Plan and will be selected for durability. Parking lots are assumed to be asphalt with a vertical and/or rolled curb.

Project Signage

The Master Plan signage will be coordinated carefully to ensure that all visitors to the commercial center have an adequate way finding system (directions). Directional signage shall be coordinated throughout the development and individual buildings shall have identification signage and addresses accordingly.



SECTION VI. APPENDIX

i. Residential Development Standards

DIAMOND CREEK RESIDENTIAL DEVELOPMENT STANDARDS					
Housing Type	Single Family Detached		Attached (Townhome fee-simple, Tuck-under, Condominium)		Other Housing Types (Podium or other)
	front loaded (minimum)	rear loaded/access drive (minimum)	front loaded (minimum)	rear loaded/access drive (minimum)	front loaded (minimum)
Front Yard Setback ^{(7) (8) (11)}					
Living Area ⁽¹⁾	n/a	10	n/a	10	15
Porches ⁽¹⁾	n/a	8	n/a	8	10
Uncovered Courtyard Walls at Paseo ⁽⁷⁾	n/a	1.5	n/a	1.5	n/a
Uncovered Courtyard Walls at Street ⁽⁷⁾	n/a	up to PUE	n/a	up to PUE	10
Side Yard Setback ^{(9) (7) (11) (12)}					
Interior Side ^{(1) (12) (13)}	n/a	3	n/a	3	n/a
exterior side to adjoining property ^{(2) (5) (12)}	n/a	10	n/a	10	n/a
exterior side to Street ⁽¹⁾	n/a	10	n/a	10	n/a
exterior side to Alley/Access Drive	n/a	3	n/a	3	n/a
Rear Yard Setback ^{(7) (9) (12)}					
1st floor Living Area to Rear PL ⁽¹¹⁾	n/a	14	n/a	14	n/a
2nd, 3rd floor Living Area to Rear PL ^{(1) (11)}	n/a	11.5	n/a	11.5	n/a
Garage door to garage door	n/a	28	n/a	28	n/a
Garage Setbacks					
to Street ^{(3) (12)}	n/a	n/a	n/a	n/a	n/a
to Alley/Access Drive ⁽³⁾	n/a	3' min	n/a	3' min	n/a
Coverage					
Site Coverage	n/a	n/a	n/a	n/a	n/a
Height ⁽¹⁰⁾					
Height - maximum	n/a	3 stories - 45ft ⁽⁸⁾	n/a	3 stories - 45ft ⁽⁸⁾	60' ⁽⁸⁾
Parking					
Spaces	Tandem parking is allowed where adequate guest spaces are provided. Guest parking may be provided on-street. Full package layout shown on Tentative Map.				
Open Spcae					
Useable Open Space Requirements	n/a	n/a	n/a	n/a	

all dimensions are in feet unless otherwise noted
 n/a = not applicable

Notes:

- (1) Measured from property line.
- (2) Measured from back of walk.
- (3) Measured from edge of paving.
- (4) Sideyard use easements shall be considered minimum separations.
- (5) Acceptable to overlap parcels that exist solely for easement or utility purposes.
- (6) To plate.
- (7) Steps may encroach into setback
- (8) No front yard stagger required but variations in design is encouraged.

- (9) No rear yard usable space required
- (10) No two story in a row limitations.
- (11) Architectural features, such as but not limited to: corrices, eaves, cantilevers, fireplaces w/ adjoining TV niche, but not any additon creating living space, may encroach up to two (2) feet into any required setback
- (12) Mechanical units such as air conditioning and heat pumps may encroach up to three (3) feet into a required side or rear yard setback provided adequate access/emergency egress path maintained.
- (13) A minimum 6'-0" separation between buildings is required.

Design Illustrative Guidelines



CHANGES IN ROOF HEIGHTS,
ROOF MATERIALS & TYPES

BUILDING SPACES STAGGER
THEIR EDGE CORNERS

BALCONIES & PORCHES
ARTICULATE IN & OUT

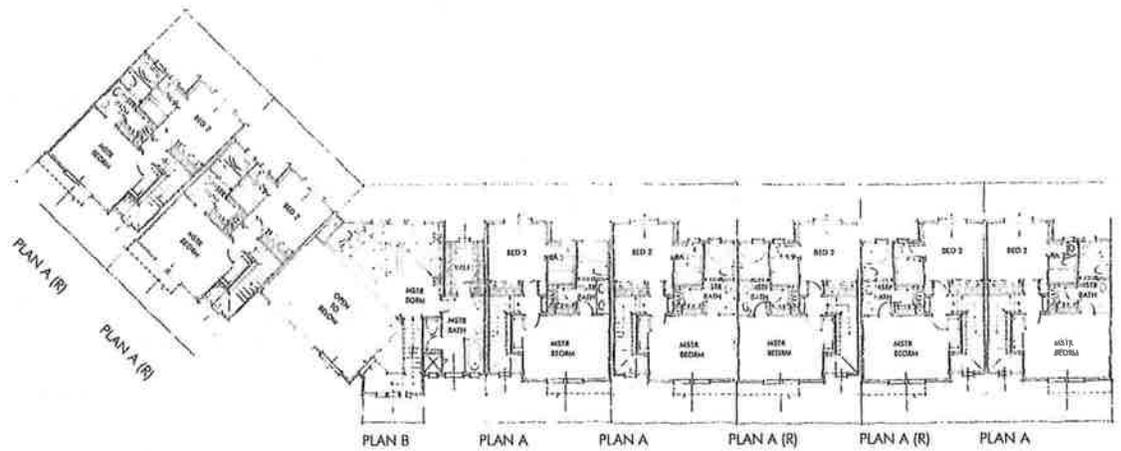
COLORS ADD DISCRPTION &
INDIVIDUALIZE LOCATIONS

RESIDENTIAL COMPONENTS OVER
RETAIL UNITES COMMUNITY

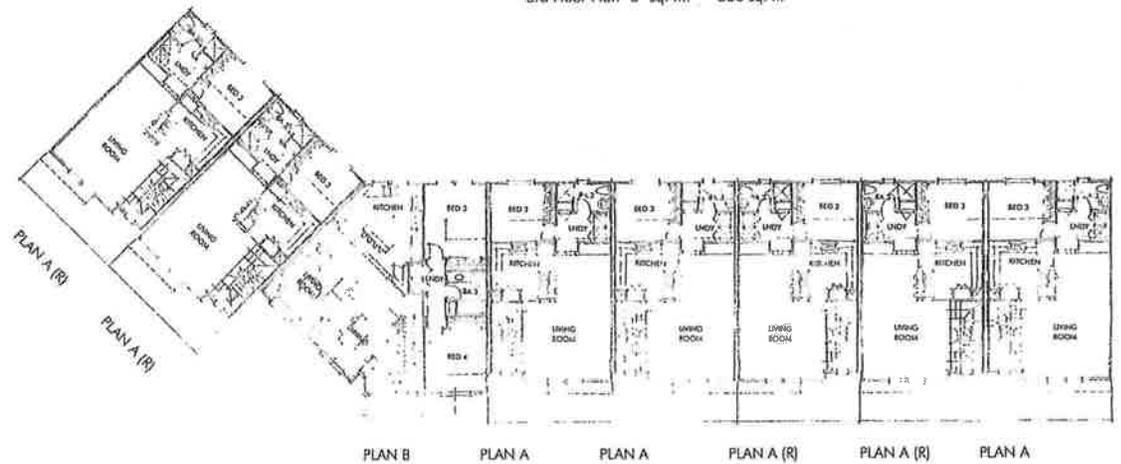
SIZED TREES ADD HUMAN SCALE

STOREFRONTS ADD
STYLE & EXCITMENT

SIDEWALKS HAVE MULTIPLE USES



THIRD FLOOR PLAN
 3rd Floor Plan "A" sq. ft.: 517 sq. ft.
 3rd Floor Plan "B" sq. ft.: 520 sq. ft.



SECOND FLOOR PLAN
 2nd Floor Plan "A" sq. ft.: 712 sq. ft.
 2nd Floor Plan "B" sq. ft.: 1,082 sq. ft.



ATTACHMENT 3



BLACKPINE COMMUNITIES AT DIAMOND CREEK
COLOR SCHEME EXHIBIT



ROOFING



ROOF | CERTAINTED LANDMARK
THUNDERSTORM GRAY



ACCENT ROOF | STANDING SEAM
COPPER FINISH

DETAILS



HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMABRICK
BRACCIANO



TRIM COLOR | KM W511
ICE CREAM

ACCENT COLOR | SW 2837
AURORA BROWN

STAIN COLOR | SW 3524
CHESTNUT

BODY COLOR | HL4253-3
VICTORIAN

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 11



ROOFING



ROOF | CERTAINTED LANDMARK
THUNDERSTORM GRAY



ACCENT ROOF |
CORRUGATED METAL



HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



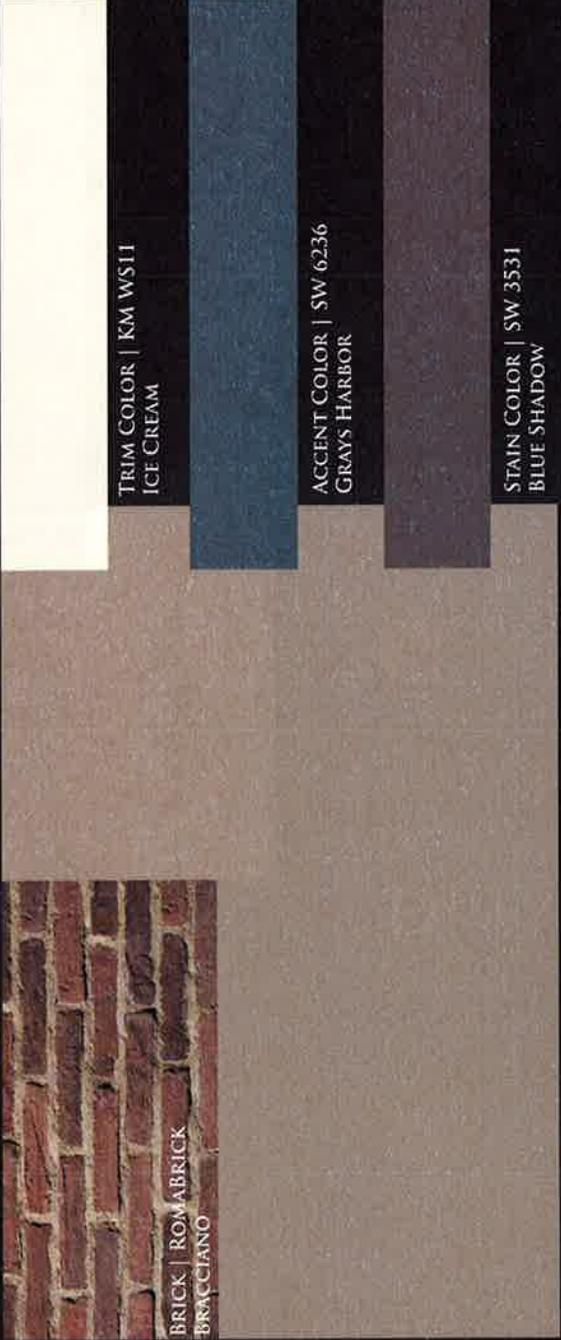
WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMABRICK
BRACCIANO



BODY COLOR | SW 7504
KEYSTONE GRAY

TRIM COLOR | KM WS11
ICE CREAM

ACCENT COLOR | SW 6236
GRAYS HARBOR

STAIN COLOR | SW 3531
BLUE SHADOW

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 1



ROOFING



ROOF | CERTAINTED LANDMARK
MOIRE BLACK



ACCENT ROOF |
CORRUGATED METAL

DETAILS



HAIF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMABRICK
BRACCIANO



TRIM COLOR | KM W511
ICE CREAM

ACCENT COLOR | SW 6528
COSMOS

STAIN COLOR | SW 3531
BLUE SHADOW

BODY COLOR | SW 7006
EXTRA WHITE

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 2



ROOFING



ROOF | CERTAINTED LANDMARK
THUNDERSTORM GRAY



ACCENT ROOF | STANDING SEAM
COPPER FINISH

DETAILS



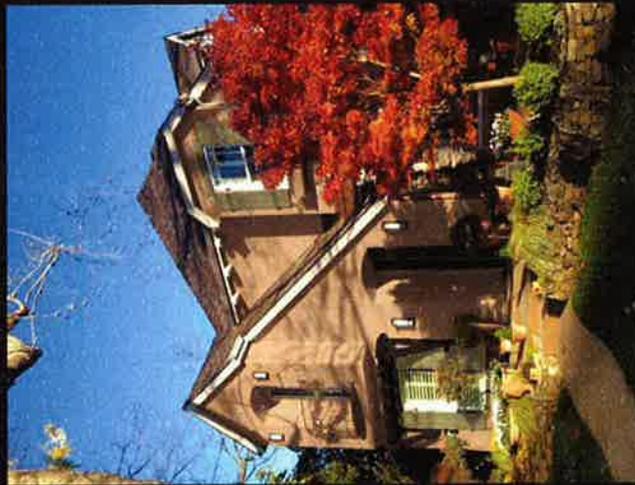
HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



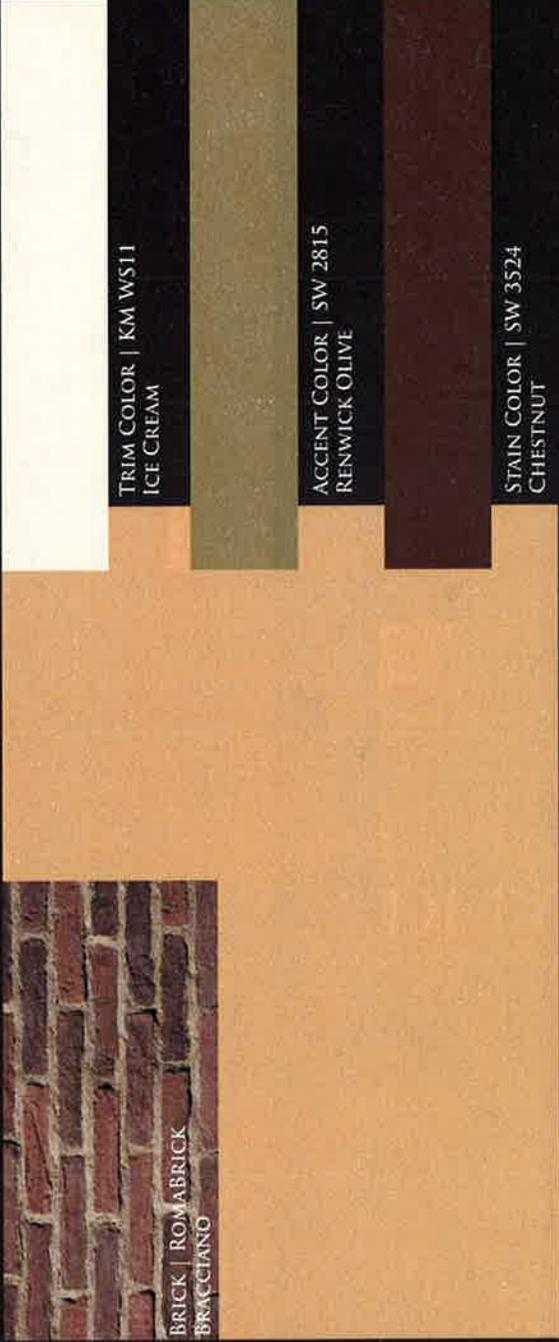
WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMABRICK
BRACCIANO



BODY COLOR | SW 7679
GOLDEN GATE

TRIM COLOR | KM WS11
ICE CREAM

ACCENT COLOR | SW 2815
RENWICK OLIVE

STAIN COLOR | SW 3524
CHESTNUT

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 3



ROOFING



ROOF | CERTAINTED LANDMARK
THUNDERSTORM GRAY



ACCENT ROOF | STANDING SEAM
COPPER FINISH



HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



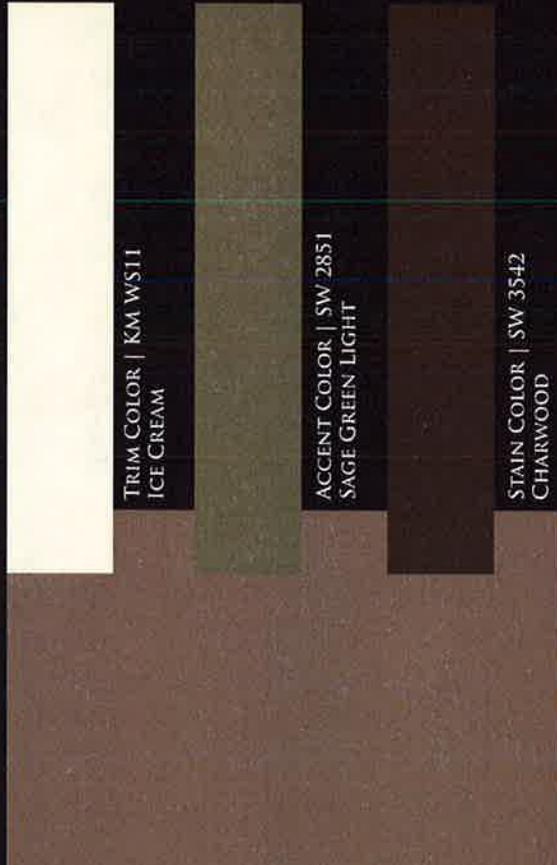
WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMA BRICK
BRACCIANO



TRIM COLOR | KM WST1
ICE CREAM

ACCENT COLOR | SW 2851
SAGE GREEN LIGHT

STAIN COLOR | SW 3542
CHARWOOD

BODY COLOR | SW 7514
FOOTHILLS

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 4



ROOFING



ROOF | CERTAINTED LANDMARK
THUNDERSTORM GRAY



ACCENT ROOF | STANDING SEAM
COPPER FINISH

DETAILS



HALF-ROUND GUTTER |
GALVANIZED METAL

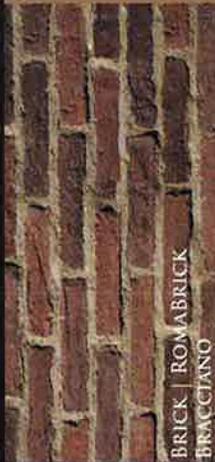


SHUTTER
(TYPICAL)

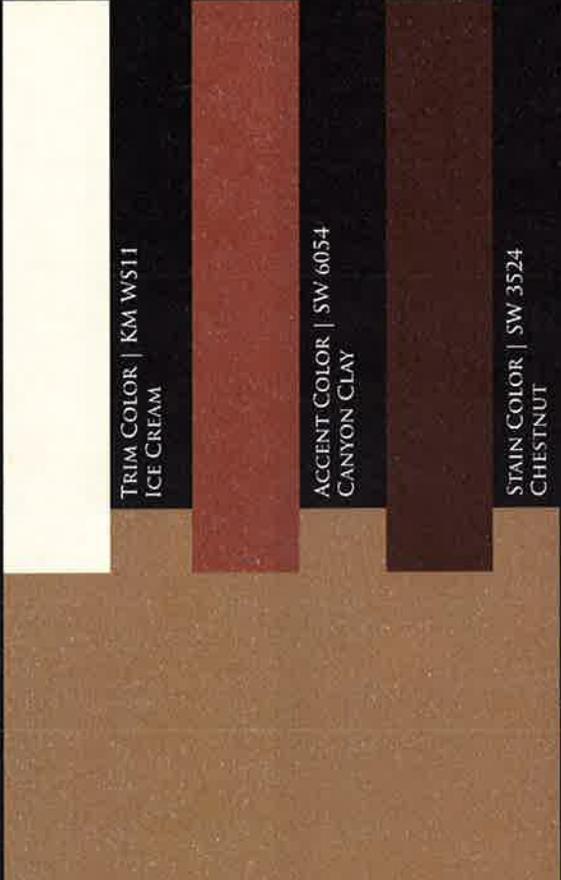


WINDOW BOX
(TYPICAL)

COLOR PALETTE



BRICK | ROMA BRICK
BRACCIANO



TRIM COLOR | KM WS11
ICE CREAM

ACCENT COLOR | SW 6054
CANYON CLAY

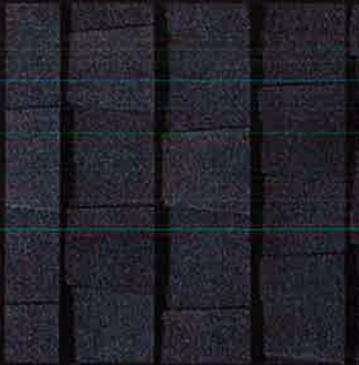
STAIN COLOR | SW 3524
CHESTNUT

BODY COLOR | SW 7522
MEADOWLARK

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 5



ROOFING



ROOF | CERTAINTED LANDMARK
MOIRE BLACK



ACCENT ROOF |
CORRUGATED METAL

DETAILS



HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



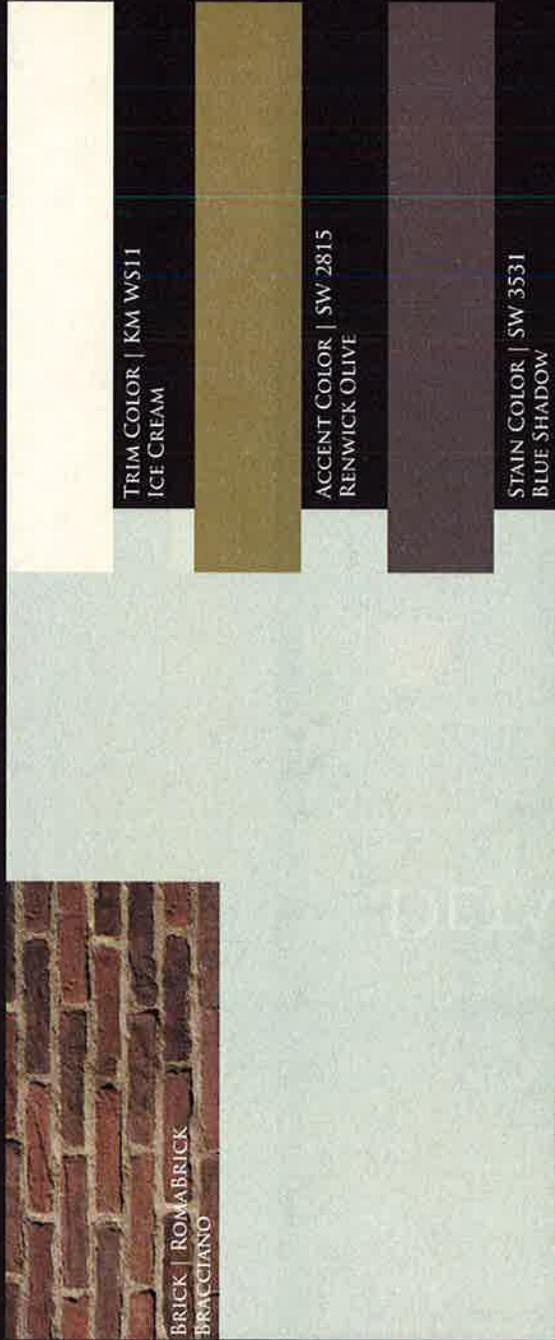
WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMABRICK
BRACCIANO



BODY COLOR | SW 6197
ALOOF GRAY

TRIM COLOR | KM WS11
ICE CREAM

ACCENT COLOR | SW 2815
RENWICK OLIVE

STAIN COLOR | SW 3531
BLUE SHADOW

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 6



ROOFING



ROOF | CERTAINTED LANDMARK
THUNDERSTORM GRAY



ACCENT ROOF |
CORRUGATED METAL



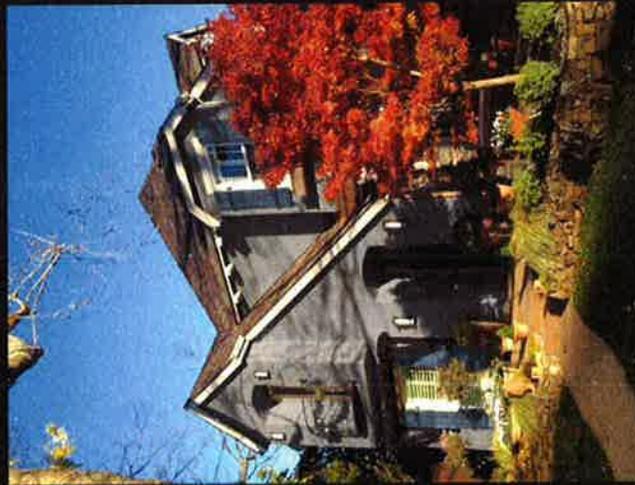
HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMA BRICK
BRACCIANO

TRIM COLOR | KM W511
ICE CREAM

ACCENT COLOR | SW 6236
GRAYS HARBOR

STAIN COLOR | SW 3542
CHARWOOD

BODY COLOR | HL-4217-3
LIMBERT LEATHER

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 7



ROOFING



ROOF | CERTAINTED LANDMARK
THUNDERSTORM GRAY



ACCENT ROOF | STANDING SEAM
COPPER FINISH

DETAILS



HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



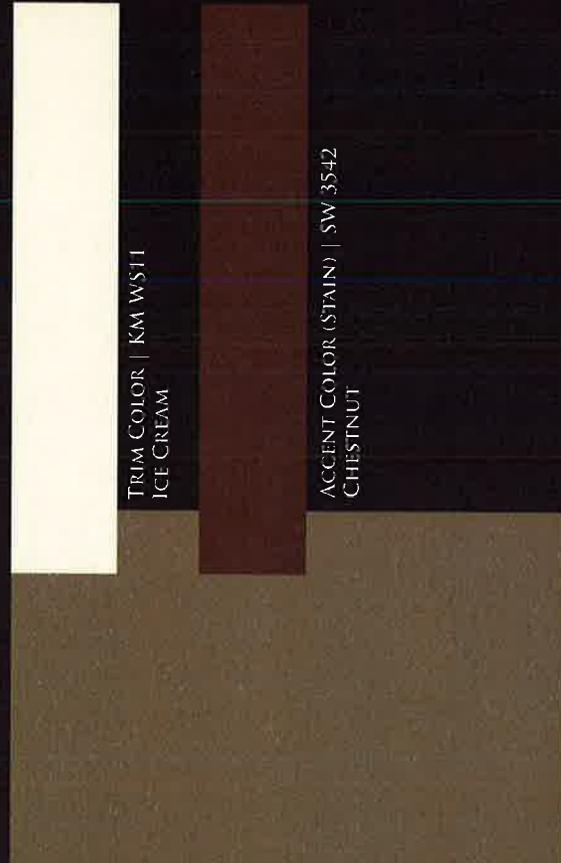
WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMA BRICK
BRACCIANO



TRIM COLOR | KM WSH
ICE CREAM

ACCENT COLOR (STAIN) | SW 3542
CHESTNUT

BODY COLOR | HL4263-3
HAMMERED PEWTER

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 8



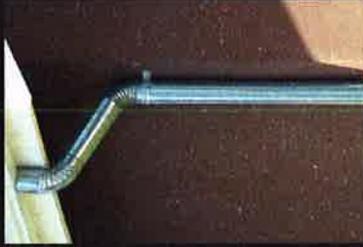
ROOFING



ROOF | CERTAINTED LANDMARK
MOTRE BLACK



ACCENT ROOF | STANDING SEAM
COPPER FINISH



HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



WINDOW BOX
(TYPICAL)

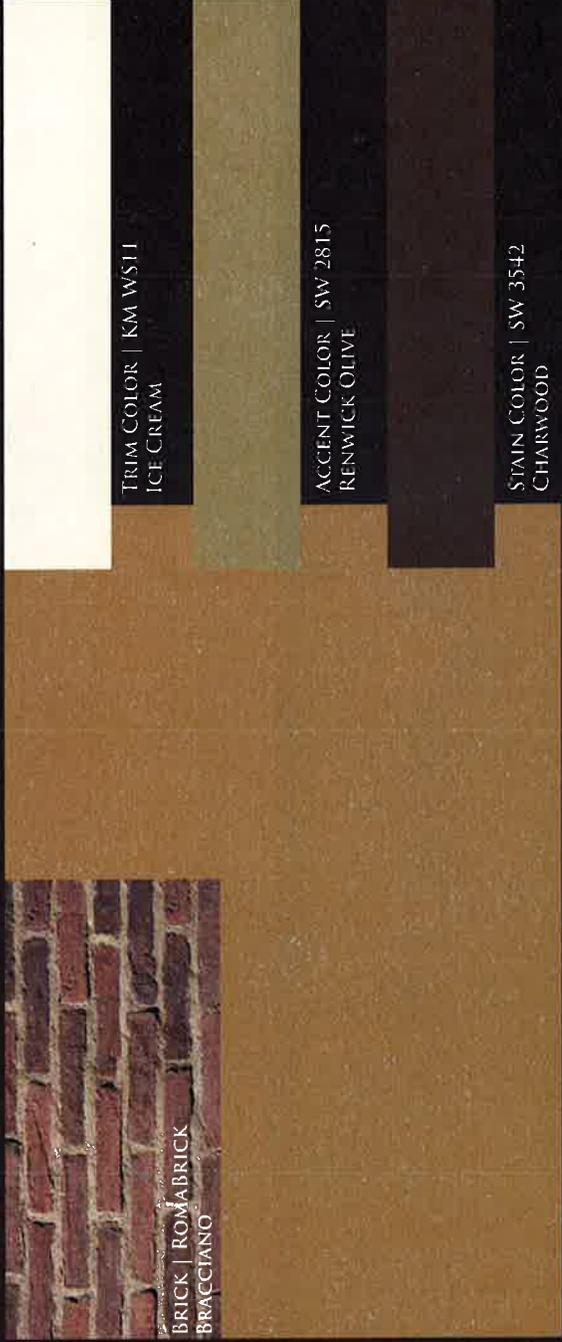
DETAILS



COLOR PALETTE



BRICK | ROMABRICK
BRACCIANO



BODY COLOR | HL-4213-3
BUNGALOW BROWN

TRIM COLOR | KM WS11
ICE CREAM

ACCENT COLOR | SW 2815
RENWICK OLIVE

STAIN COLOR | SW 3542
CHARWOOD

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 9



ROOFING



ROOF | CERTAINTED LANDMARK
THUNDERSTORM GRAY



ACCENT ROOF |
CORRUGATED METAL

DETAILS



HALF-ROUND GUTTER |
GALVANIZED METAL



SHUTTER
(TYPICAL)



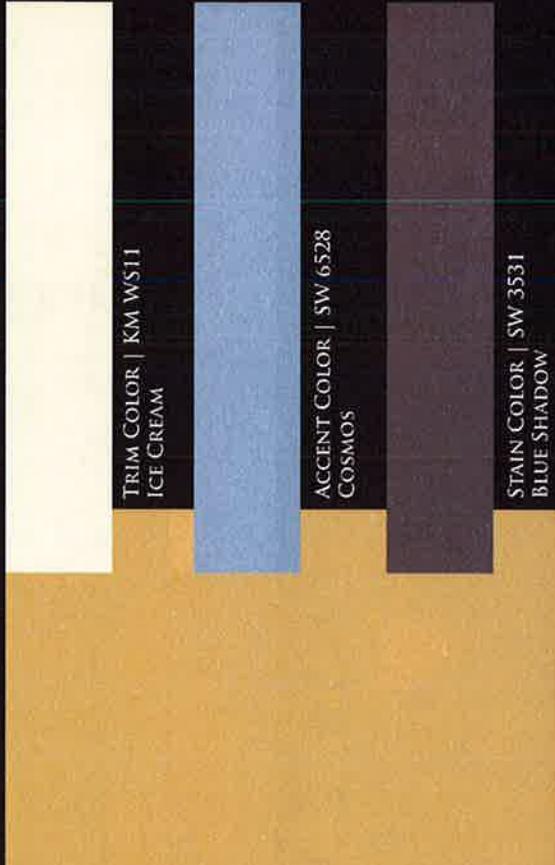
WINDOW BOX
(TYPICAL)



COLOR PALETTE



BRICK | ROMABRICK
BRACCIANO



TRIM COLOR | KM W511
ICE CREAM

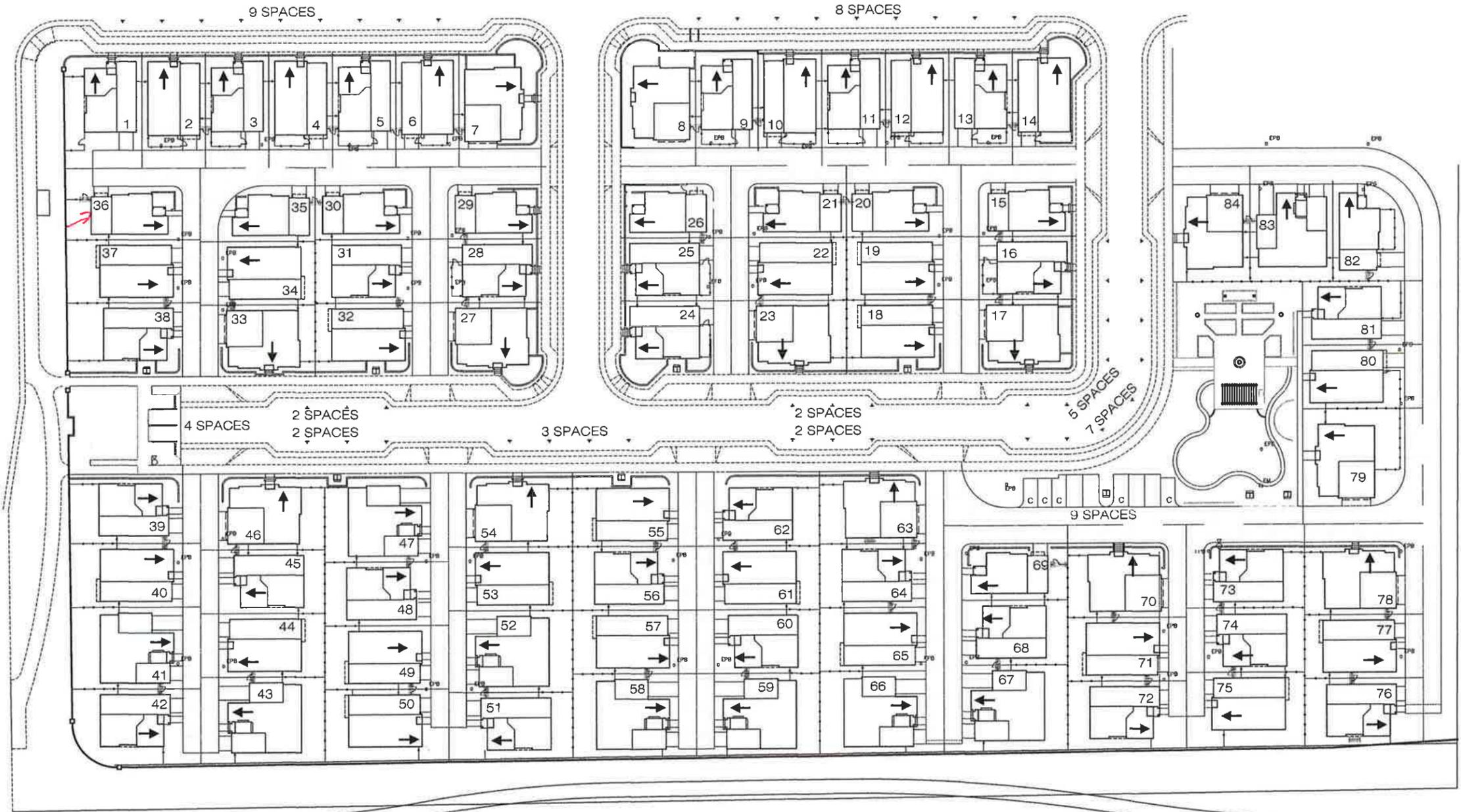
ACCENT COLOR | SW 6528
COSMOS

STAIN COLOR | SW 3531
BLUE SHADOW

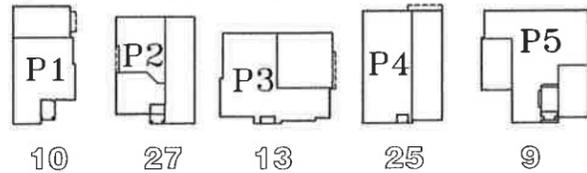
BODY COLOR | HL4222-3
GOLD RUSH

BLACKPINE COMMUNITIES AT DIAMOND CREEK SCHEME 10





UNIT MIX



53 VISITOR PARKING SPACES

→
DIRECTION FRONT
DOOR FACES

BLUE OAKS BLVD

PRODUCT PLACEMENT

12-01-09



BlackPine HOLDINGS INC.

ROSEVILLE, CA

DIAMOND CREEK UNIT 31

CONCEPT SITE PLAN

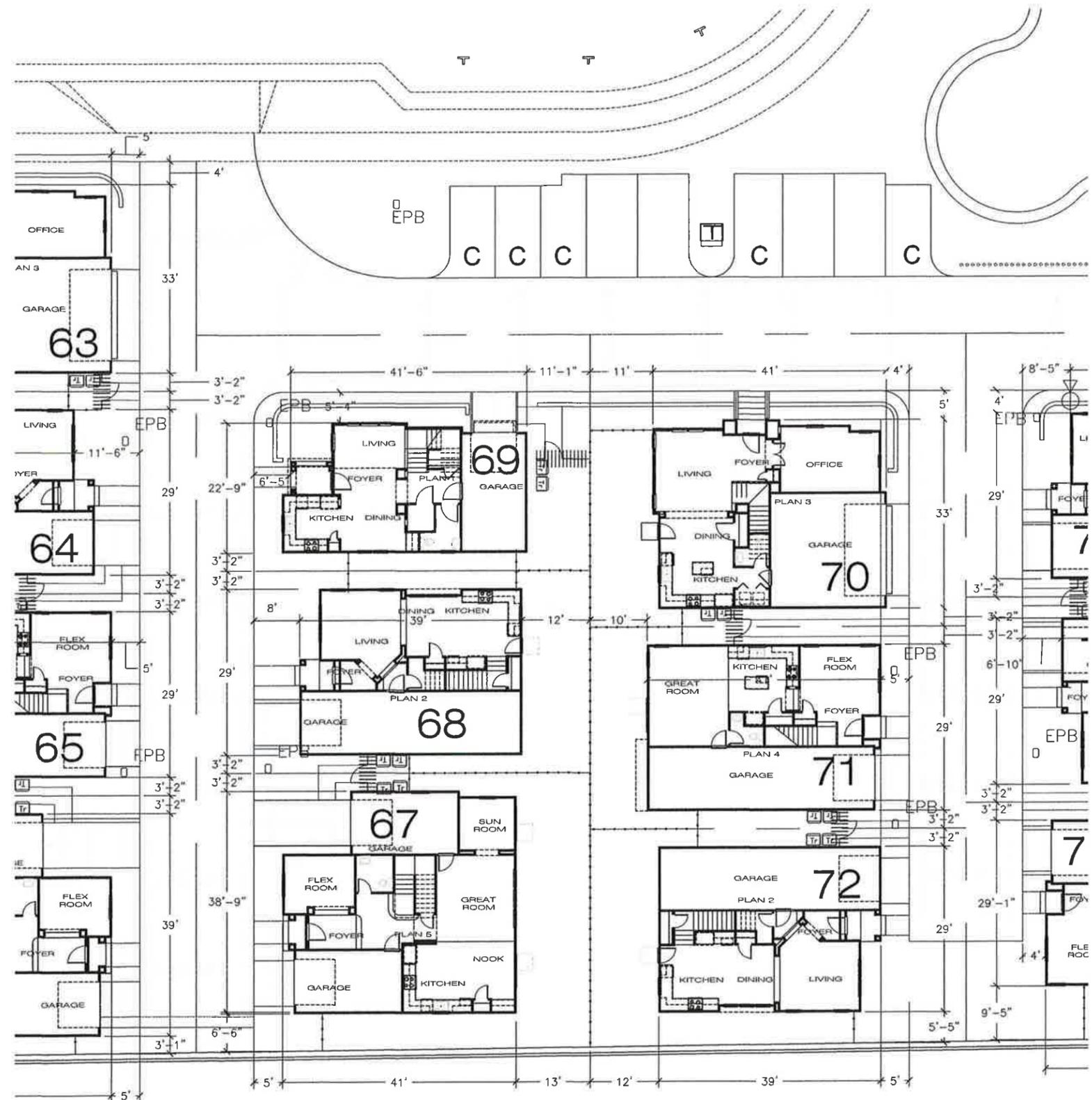
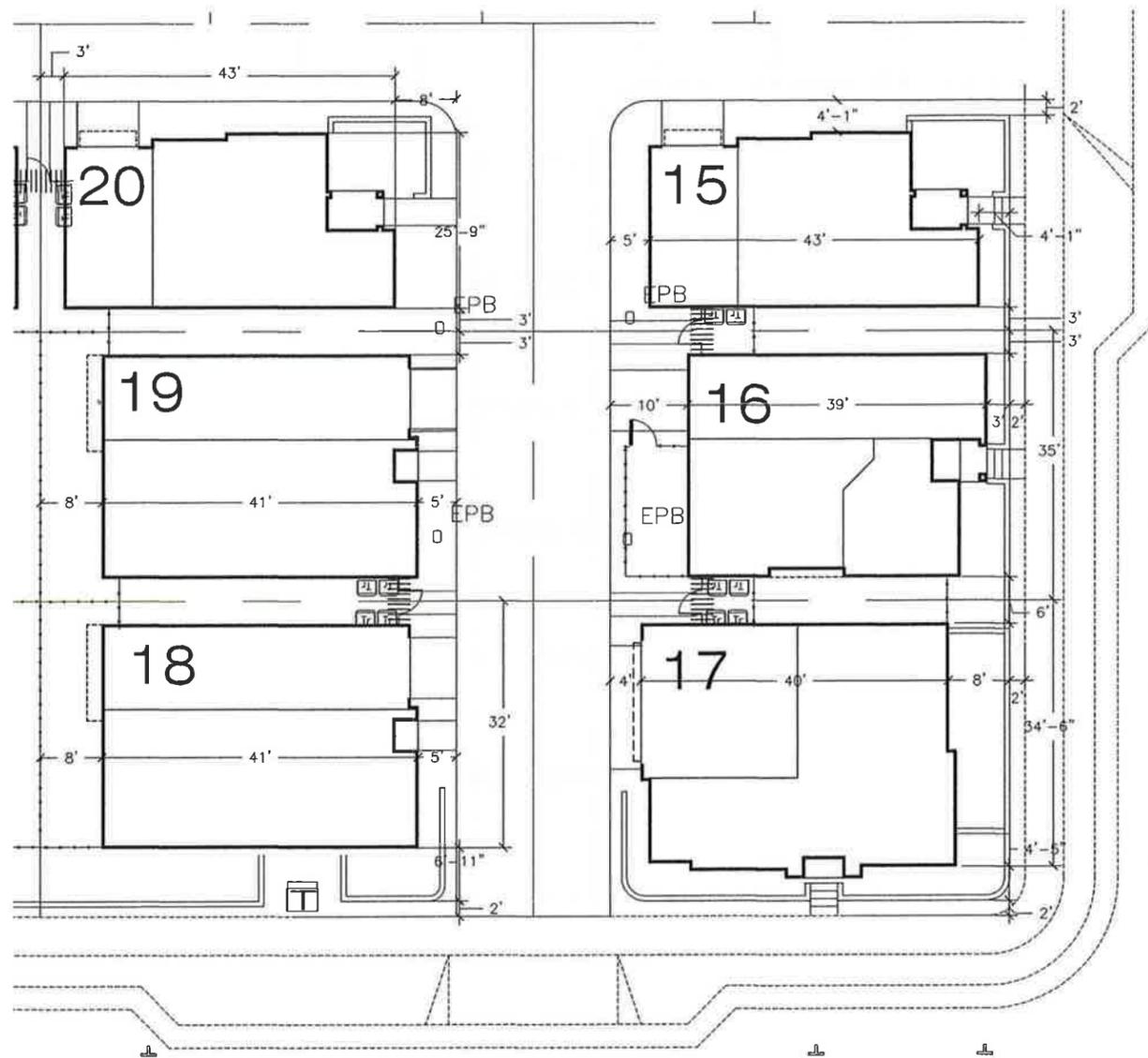
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SCALE: 1" = 30'
0 30' 60'

DATE: 12.01.09

PROJECT: BPH.11088





ADDENDUM TO SECTION VI. APPENDIX

i. Residential Development Standards

DIAMOND CREEK RESIDENTIAL DEVELOPMENT STANDARDS

	Front Loaded (minimum)	Rear Loaded (minimum)	Side Loaded (minimum)
Front Yard Setback			
Living Area to PL/Private Drive	4	4	3.5
Porches to PL/Private Drive	4	4	3.5
Uncovered Courtyard Walls at Paseo	n/a	up to PL	up to PL
Uncovered Courtyard Walls at Street/Private Drive	2' from PL/Private Drive	2' from PL/Private Drive	2' from PL/Private Drive
Side Yard Setback			
Interior Side to PL	3	3	3
Exterior side to Street	3.5	3.5	3.5
Exterior side to Private Drive	3.5	3.5	3.5
Rear Yard Setback			
1st floor Living Area	5 to PL	5 to Private Drive	3 to PL/Private Drive
2nd floor Living Area	3 to PL	3 to Private Drive	3 to PL/Private Drive
Garage door to Garage door	n/a	28	n/a
Garage Setbacks			
To Private Drive	4	4	4
Coverage			
Site Coverage	n/a	n/a	n/a
Height			
Height - Maximum	3 stories - 45ft	3 stories - 45ft	3 stories - 45ft
Parking			
Spaces	Two spaces are required for each home, however, Plan 1 provides one parking space. The balance of the parking for units without 2 spaces will be made up through on-street parking. Tandem parking is allowed within the garage of each unit. Guest parking will be provided as specified in the concept book on page 9.		
Open Spaces			
Usable Open Space Requirements	n/a	n/a	n/a

- 1) Conditions that state to PL/Private Drive shall measure to the PL when the PL is the back of side walk and to the edge of the Private Drive when PL is in the middle of the Private Drive.
- 2) Measurements shall be taken from edge of wall framing members and shall not take into account exterior cladding materials such as stucco, siding or architectural trim projections.
- 3) Steps may encroach into setback.
- 4) No front yard stagger is required.
- 5) No rear yard usable space is required.
- 6) Architectural features, such as but not limited to; cornices, eaves, and cantilevers may encroach up to two (2) feet into any required setback.
- 7) Mechanical units such as air conditioning and heat pumps may encroach up to three (3) feet into a required side or rear yard setback provided adequate access/emergency egress path is maintained.
- 8) A minimum 6'-0" separation between buildings is required.

Plan 1
1332 Sq. Ft.
Diamond Creek
Roseville, CA

BlackPine Communities, LLC.
630 Lincoln Avenue
Woodland, CA 95695

THESE PLANS ARE FOR PERMIT PURPOSES AND DO NOT PURPORT TO INCLUDE ALL CONSTRUCTION REQUIREMENTS. CONFORM TO CURRENTLY ENFORCED CBC, CODES, ORDINANCES, AND OTHER REGULATIONS.

CRG Drafting and Design
Residential Design and Drafting Services
www.crgdrafting.com
P.O. Box 212, Elk Grove, CA 95759-2120 (916)427-5542 chris@crgdrafting.com

SHEET /
1A

ATTIC VENTILLATION

ATTIC AREA (130214 SQ.IN.)/150 = 868 SQ.IN. NET FREE VENT AREA

434 SQ.IN. NEAR RIDGE	440 SI NFA
434 SQ.IN. NEAR EAVES	438 SI NFA
EAVE	
B PLYCO 3224 3"x22" EAVE VENTS @55 SQ.IN. NFA=	440 SI NFA
OR	
109 2 1/4" DIA. SCREEN HOLES @ 4 SQ.IN. NFA=	438 SI NFA
RIDGE	
24.5 LF OF RIDGE VENTING @18 SQ.IN. NFA PER LF=	441 SI NFA

ISSUANCE OF PLANS FROM THIS DESIGNER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERIFY ALL NOTES, DIMENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

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- SYMBOL (A)
EXTER. ELEV. NOTES
- ROOFING
 - DIMENSIONAL COMP SHINGLES (30 YEAR MINIMUM) W/ 30# FELT
 - METAL ROOFING
 - PLYWOOD OVER EXPOSED AREA TO BE CC PLUGGED OR EXTERIOR EXPOSURE
 - GUTTER 5" OGEE SEAMLESS METAL DOWNSPOUTS PER ELEVATION DRAWINGS
 - GALV IRON CRICKET
 - GABLE END VENTS W/1/4" MESH. LOCATE TO NOT OVERLAY TRUSS WEB MEMBERS
 - OVERHANG
 - 6"
 - 12"
 - 2x8 BARGE RAFTER
 - 2x6 BARGE RAFTER
 - GARAGE VENT, 14"x8", LOUVERED W/1/4" MESH, WITHIN 6" OF FLOOR
 - SHINGLE SIDING
 - LAP SIDING
 - 3 COAT STUCCO
 - WEEP SCREED 4" MIN ABOVE GRADE, 2" MIN ABOVE PAVING, @ FDN PL ON ALL EXT WALLS TO HAVE STUCCO
 - STUCCO FOAM TRIM PLANT-ON W/SAND FINISH
 - STUCCO STONE/BRICK VENEER
 - 42" HIGH IRON RAIL W/4" MAX SPACES. GUARDRAIL INTERMEDIATE RAIL SHALL BE ANCHORED TO WITHSTAND THE REQUIRED LOAD PER CRC
 - SHUTTERS
 - CORBELS
 - WOOD TRIM
 - METAL TRIM



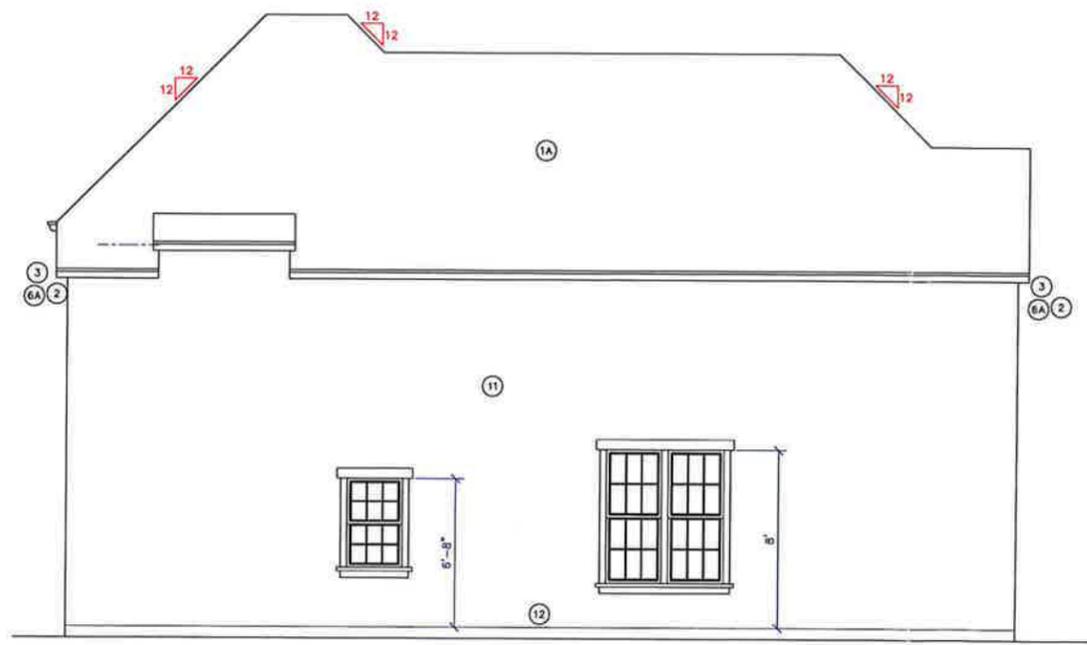
FRONT ELEVATION

1/4" = 1'-0"



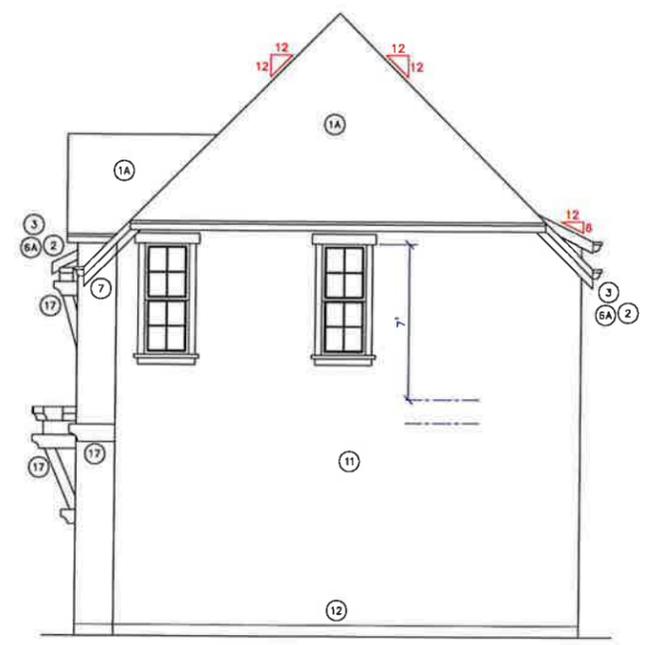
RIGHT SIDE ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

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FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



REAR LOADED GARAGE ELEVATIONS

1/8" = 1'-0"



SYMBOL **EXTER. ELEV. NOTES**

- 1) ROOFING
 - A. DIMENSIONAL COMP SHINGLES (30 YEAR MINIMUM) W/ 30# FELT
 - B. METAL ROOFING
- 2) PLYWOOD OVER EXPOSED AREA TO BE CC PLUGGED OR EXTERIOR EXPOSURE
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- 4) GALV IRON CRICKET
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 - A. 2x8 BARGE RAFTER
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- 10) LAP SIDING
- 11) 3 COAT STUCCO
- 12) WEEP SCREED 4" MIN ABOVE GRADE, 2" MIN ABOVE PAVING, FDTM PL ON ALL EXT WALLS TO HAVE STUCCO
- 13) STUCCO FOAM TRIM PLANT-ON W/SAND FINISH
- 14) STUCCO STONE/BRICK VENEER
- 15) 42" HIGH IRON RAIL W/4" MAX SPACES. GUARDRAIL INTERMEDIATE RAIL SHALL BE ANCHORED TO WITHSTAND THE REQUIRED LOAD PER CRC
- 16) SHUTTERS
- 17) CORBELS
- 18) WOOD TRIM
- 19) METAL TRIM

ATTIC VENTILLATION

ATTIC AREA (148024 SQ.IN.)/150 = 987 SQ.IN. NET FREE VENT AREA
 494 SQ.IN. NEAR RIDGE
 494 SQ.IN. NEAR EAVES

EAVE			
0	PLYCO 3224 3"x22" EAVE VENTS	55 SQ.IN. NFA=	495 SI NFA
	OR		
124	2 1/4" DIA. SCREEN HOLES	4 SQ.IN. NFA=	498 SI NFA
RIDGE			
28	LF OF RIDGE VENTING	18 SQ.IN. NFA PER LF=	604 SI NFA

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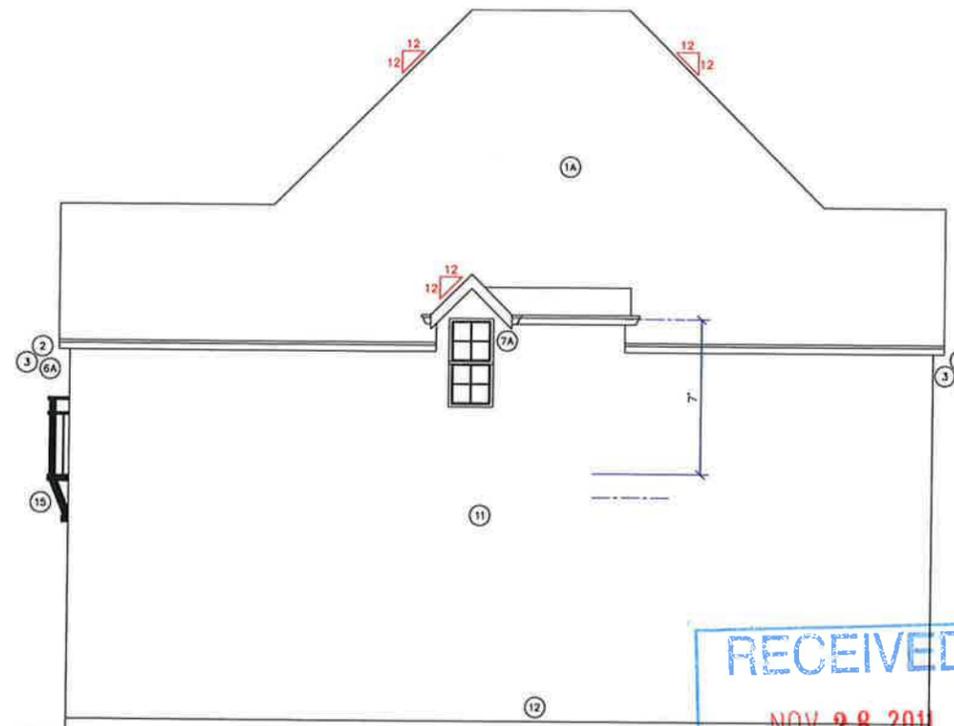
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LEFT SIDE ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"

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Woodland, CA 95695

Plan 2
1598 Sq. Ft.
Diamond Creek
Roseville, CA

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SHEET #
1A

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UPPER ATTIC VENTILLATION
ATTIC AREA (178288 SQ.IN.)/150 = 1188 SQ.IN. NET FREE VENT AREA

EAVE	11	PLYCO 3224 3"x22" EAVE VENTS 55 SQ.IN. NFA=	605	SI NFA	
	OR	149	2 1/4" DIA. SCREEN HOLES 4 SQ.IN. NFA=	598	SI NFA
RIDGE	33	LF OF RIDGE VENTING 18 SQ.IN. NFA PER LF=	594	SI NFA	

LOWER ATTIC VENTILLATION
ATTIC AREA (4084 SQ.IN.)/150 = 27 SQ.IN. NET FREE VENT AREA

EAVE	1	PLYCO 3224 3"x22" EAVE VENTS 55 SQ.IN. NFA=	65	SI NFA	
	OR	4	2 1/4" DIA. SCREEN HOLES 4 SQ.IN. NFA=	16	SI NFA
RIDGE	1	O'HAGEN FLAT VENT 98.75 SQ.IN. NFA PER LF=	98.75	SI NFA	



FRONT ELEVATION

1/4" = 1'-0"

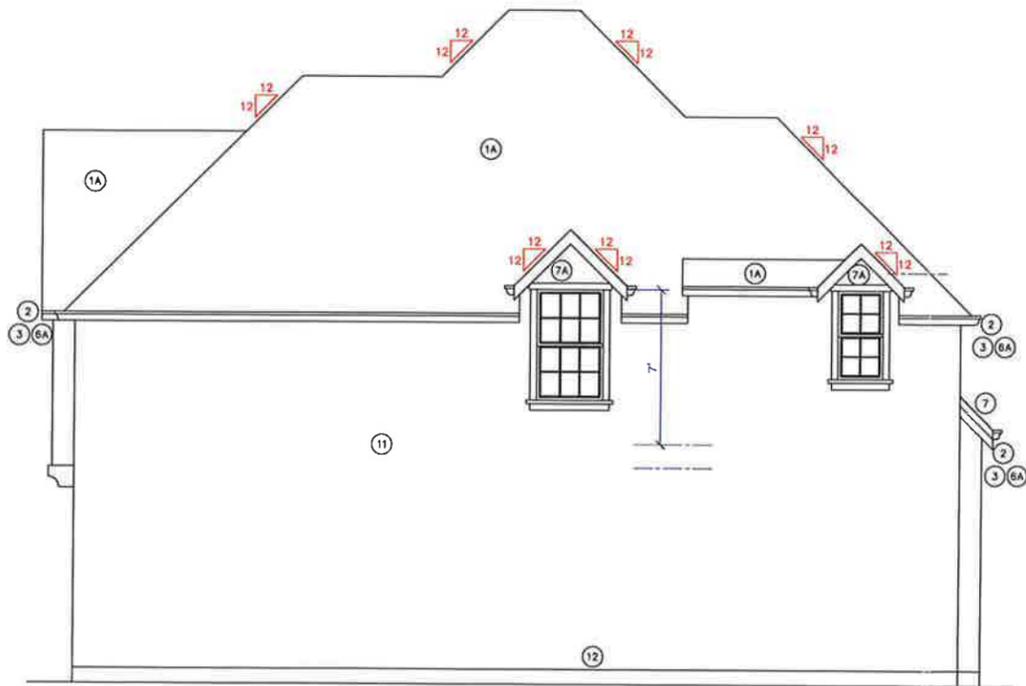


RIGHT SIDE ELEVATION

1/4" = 1'-0"

**SYMBOL ①
EXTER. ELEV. NOTES**

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 - A. DIMENSIONAL COMP SHINGLES (30 YEAR MINIMUM) W/ 30# FELT
 - B. METAL ROOFING
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- 3) GUTTER 5" OGEE SEAMLESS METAL DOWNSPOUTS PER ELEVATION DRAWINGS
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 - B. 12"
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- 10) LAP SIDING
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- 16) SHUTTERS
- 17) CORBELS
- 18) WOOD TRIM
- 19) METAL TRIM



REAR ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

2009PL-059
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Plan 3
1848 Sq. Ft.
Diamond Creek
Roseville, CA

BlackPine Communities, LLC.
630 Lincoln Avenue
Woodland, CA 95695

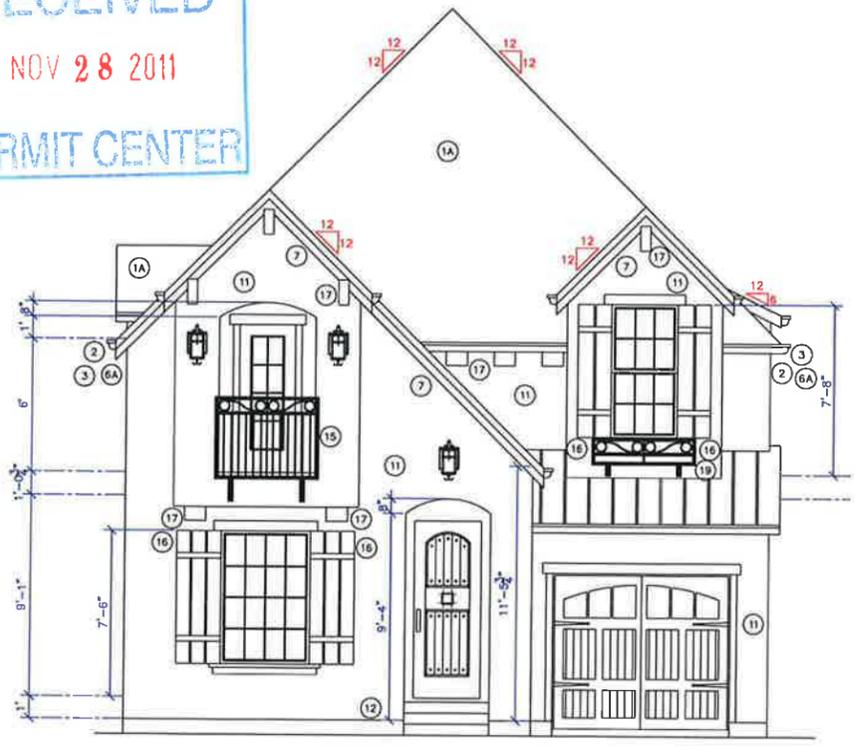
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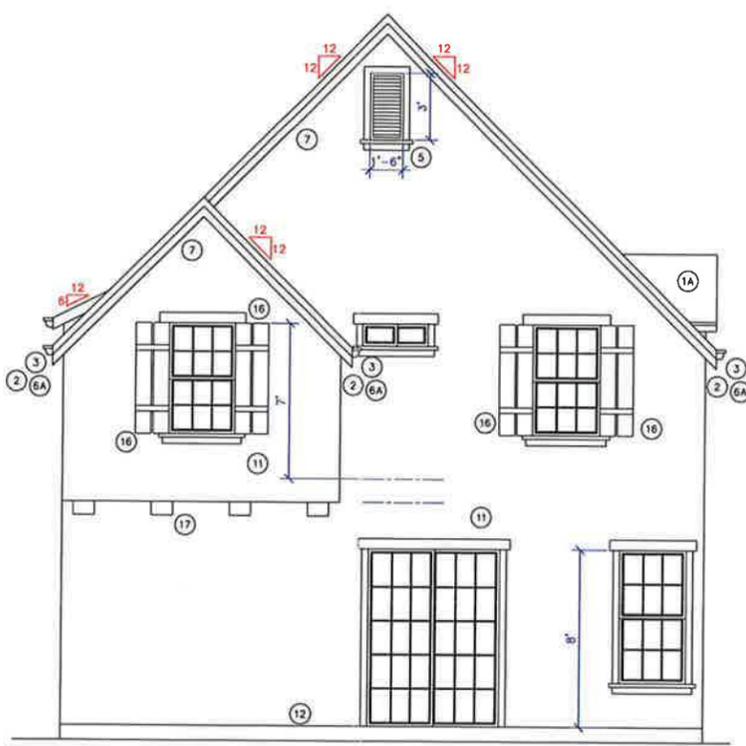
SHEET #
1A

FILE COPY

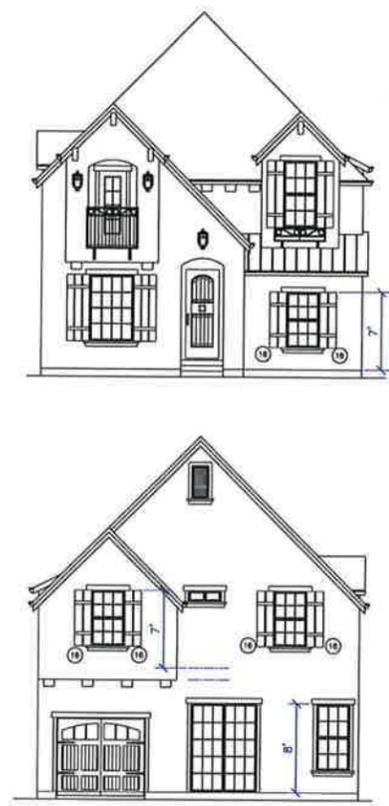
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FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



REAR LOAD GARAGE ELEVATIONS
1/8" = 1'-0"

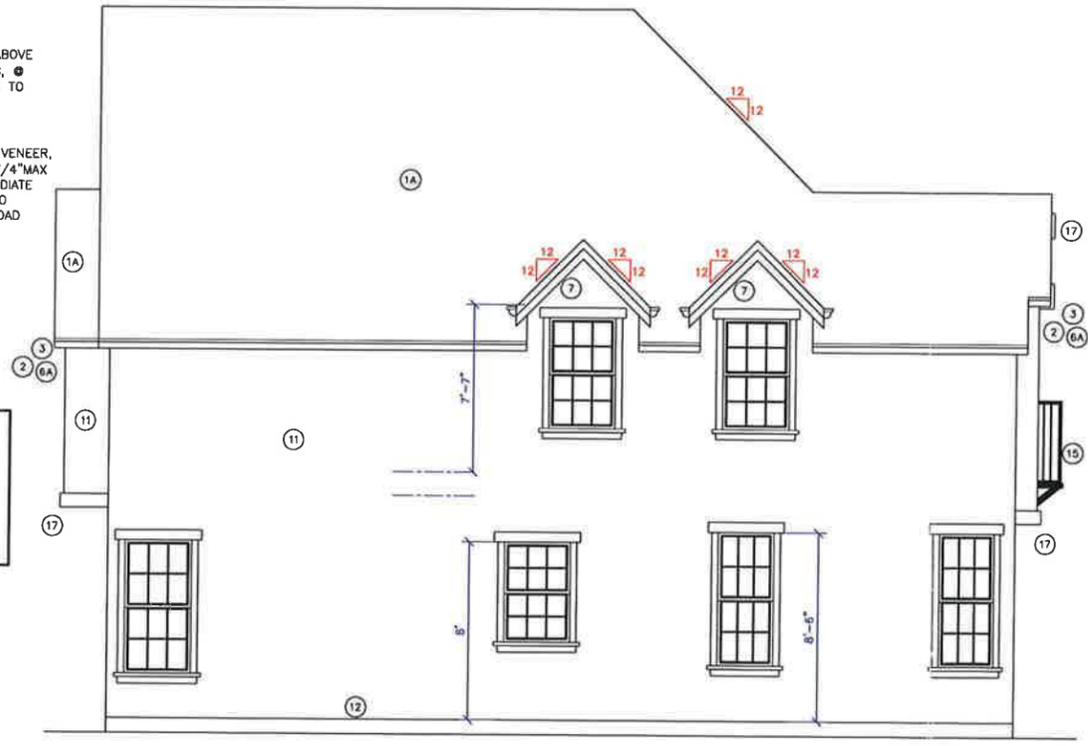
SYMBOL (O)
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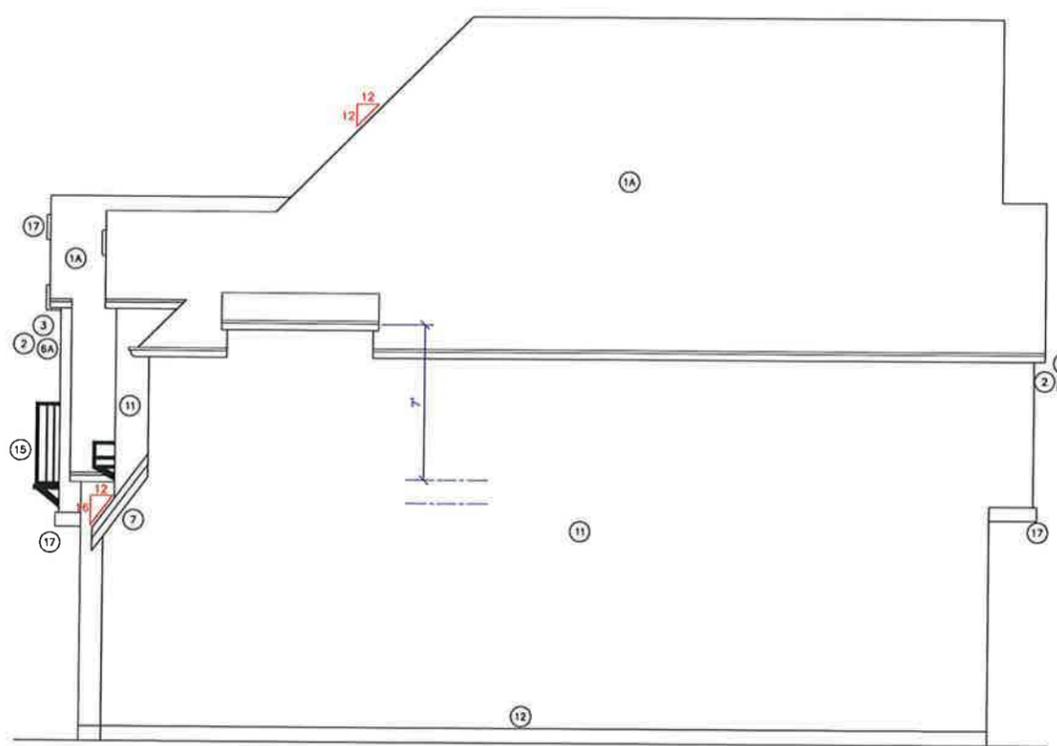
ATTIC VENTILLATION
ATTIC AREA (171192 SQ.IN.) / 150 = 1142 SQ.IN. NET FREE VENT AREA
571 SQ.IN. NEAR RIDGE
571 SQ.IN. NEAR EAVES

EAVE	RIDGE
11 PLYCO 3224 3"x22" EAVE VENTS @55 SQ.IN. NFA= 605 SI NFA	
OR	
143 21/4" DIA. SCREEN HOLES @ 4 SQ.IN. NFA= 572 SI NFA	
82 LF OF RIDGE VENTING @18 SQ.IN. NFA PER LF= 576 SI NFA	

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LEFT SIDE ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

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DA-000050

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10000 DIAMOND CREEK BL

BlackPine Communities, LLC.
630 Lincoln Avenue
Woodland, CA 95695

Plan 4
1864 Sq. Ft.
Diamond Creek
Roseville, CA

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SYMBOL (O)
EXTER. ELEV. NOTES

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FRONT ELEVATION

1/4" = 1'-0"



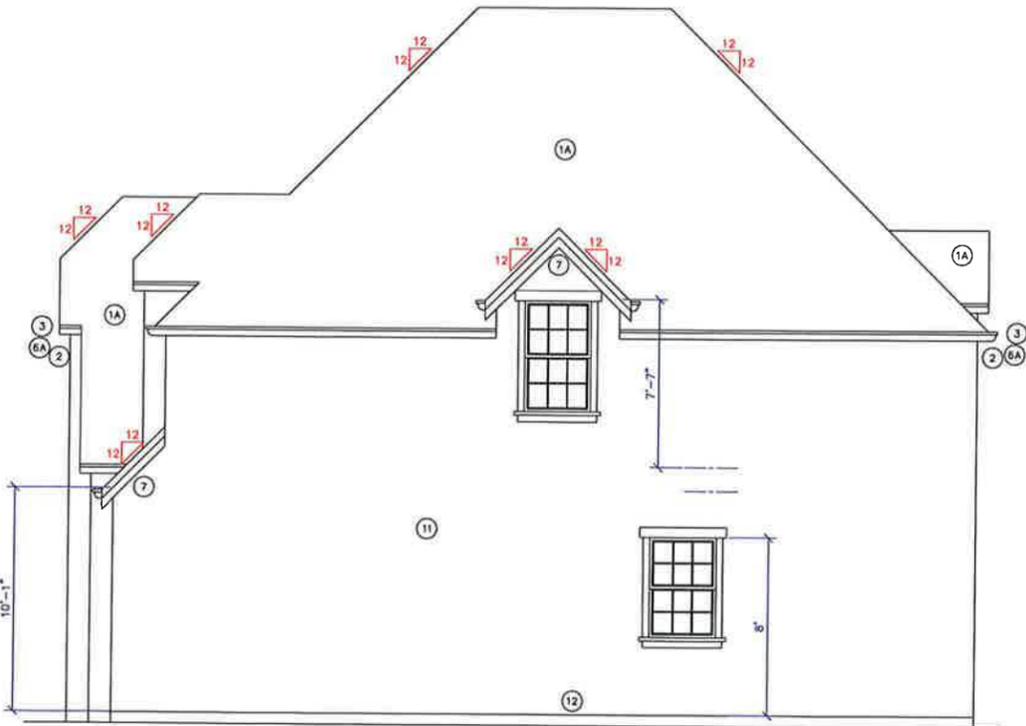
REAR ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"

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ATTIC VENTILLATION
ATTIC AREA (196341 SQ.IN.)/150 =1309 SQ.IN. NET FREE VENT AREA

12	PLYCO 3224 3"x22" EAVE VENTS	855 SQ.IN. NFA=	800 SI NFA
	OR	855 SQ.IN. NEAR RIDGE	
		855 SQ.IN. NEAR EAVES	
184	2 1/4" DIA. SCREEN HOLES	4 SQ.IN. NFA=	656 SI NFA
36.5	LF OF RIDGE VENTING	18 SQ.IN. NFA PER LF=	657 SI NFA

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Plan 5
2284 Sq. Ft.
Diamond Creek
Roseville, CA

BlackPine Communities, LLC.
630 Lincoln Avenue
Woodland, CA 95695

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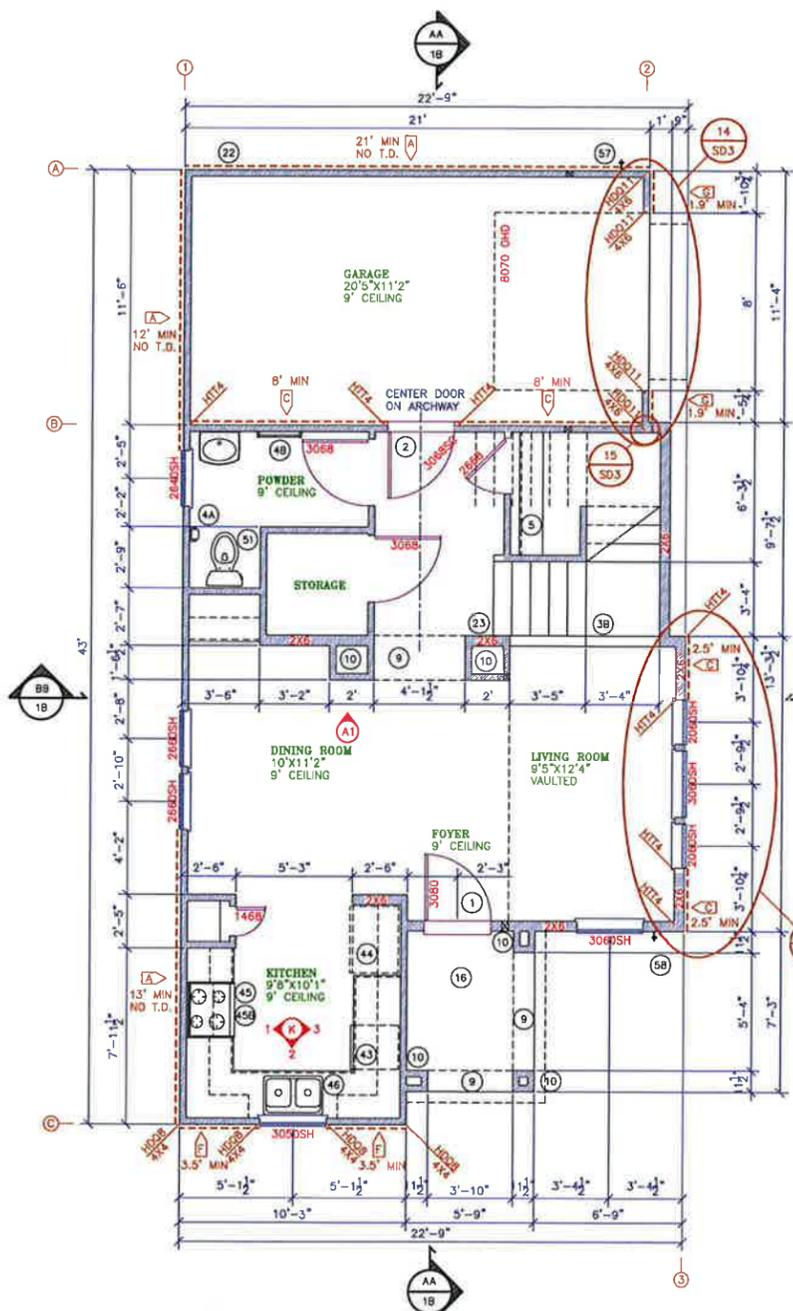
SHEET #
1A

Shear Wall Legend

- 1.  INDICATES SHEAR WALL, SEE NOTES & SCHEDULE ON SHEET SD2
- 2.  INDICATES VERTICAL TIE DOWN STRAP OR HOLDOWN, SEE SHEET SD2 FOR TYPICAL HOLDOWN DETAIL.

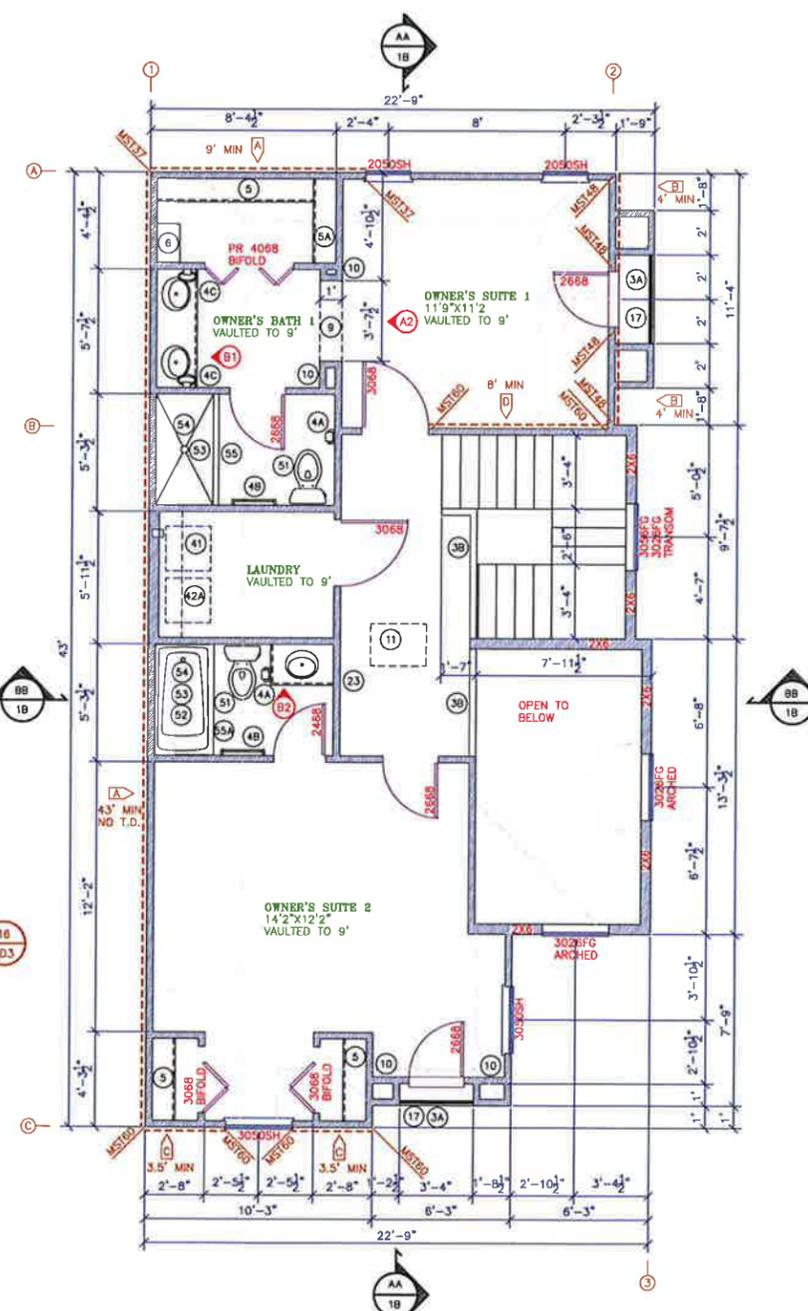
FLOOR PLAN NOTES

- 1) SC DOOR W/DEADBOLT& VIEW HOLE
- 2) SOLID CORE 1 3/4" THICK DOOR W/SELF CLOSER, THRESHOLD & WEATHERSTRIPPING, & DEAD BOLT LOCK
- 3) HANDRAILS TO BE CONTINUOUS
 - A) 42"H OPEN RAIL & SPINDLES @ 4" oc
 - 34"-38" HIGH WHEN USED AS HANDRAIL
 - B) 42" HIGH 1/2" WALL +WOOD CAP, 1 1/4" TO 1 3/8" Ø HANDRAIL
- 4) PROVIDE 2x BACKING FOR
 - A) TOILET PAPER HOLDER
 - B) TOWEL BAR C) TOWEL RING
- 5) CLOSET 1-SHELF/1-POLE
 - A) 2-SHELF/2-POLE
- 6) 5 SHELVES
- 9) ARCH
- 10) DRAFT STOP PER TYP
- 11) 22"x30" WEATHERSTRIPPED ACCESS
- 15) 48" SQ MIN CONC LANDING
- 16) 36" SQ MIN CONC LANDING
- 17) WATERPROOF DECK MEMBRANE OVER 3/4" CDX PWD
- 22) A/C UNIT, PROVIDE 30"Wx36"D WORKING SPACE, A/C DISCONNECT, 36" SQ CONCRETE PAD
- 23) THERMOSTAT (VERIFY LOC) @ +36" ABOVE FLOOR
- 24) FIREPLACE: DIR.VENT GAS, INSTALL PER MANUF.INSTR. PROVIDE GAS SHUTOFF VALVE WITHIN 3' OF FP IN SAME ROOM
- 25) GAS WTR HTR: 50 GAL W/T&P VALVE, PIPE TO EXT.
 - SEISMIC STRAPS (2EA), ONE @ 1/3 HEIGHT FROM TOP & ONE @ 1/3 HEIGHT FROM BOTTOM @ +4" ABOVE CONTROLS.
 - 18" HIGH EQUIPMENT PLATFORM W/PLYWOOD FRONT & DRYWALL FACES. IF ENCLOSED PROVIDE 2 VENTS EACH 100 SQ IN, @ 12" FROM TOP & 12" FROM BOTTOM OF WATER HEATER.
- 41) DRYER, VENT TO EXT. W/BACKDRAFT DAMPER 14" MAX DUCT LENGTH, MAX 2 ELBOWS
 - A) PROVIDE VENT IN DOOR W/100 SQ IN NET FREE VENT
- 42) WASHER
 - A) W/WATER PAN & DRAIN, SCREEN & DAMPER
- 43) DISHWASHER UNDER COUNTERTOP W/AIR GAP
- 44) REFRIG SP W/ICEMAKER HOOKUP
- 45) RANGE & OVEN, HOOD ABOVE
 - A) COOKTOP & HOOD
 - B) MICROWAVE
- 46) SINK W/GARBAGE DISPOSAL, PROVIDE AIR GAP CLEANOUT PER
- 51) WC W/MAX FLUSH VOL1.6 GAL
- 52) TUB
- 53) SHOWER STALL W/ SMOOTH NONABSORBANT SURFACE TO +72" OVER WATER RESISTIVE GYPBRD
- 54) SOLID WASTE CONNECTION
- 55) TUB&SHOWER, PRESSURE BAL. or THERMOSTATIC MIXING VALVE CPC418.0
- 55) TEMPERED CLEAR GL SHOWER DR
 - A) SHOWER CURTAIN ROD
- 57) HOSE BIBB
- 58) WATER SERVICE CONNECTION INCLUDES "TEE" FOR LANDSCAPE IRRIGATION, GATE VALVE, HOUSE SHUT-OFF & HOSE BIBB



FIRST FLOOR PLAN

1/4" = 1'-0"



2ND FLOOR PLAN

1/4" = 1'-0"

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DA-000050

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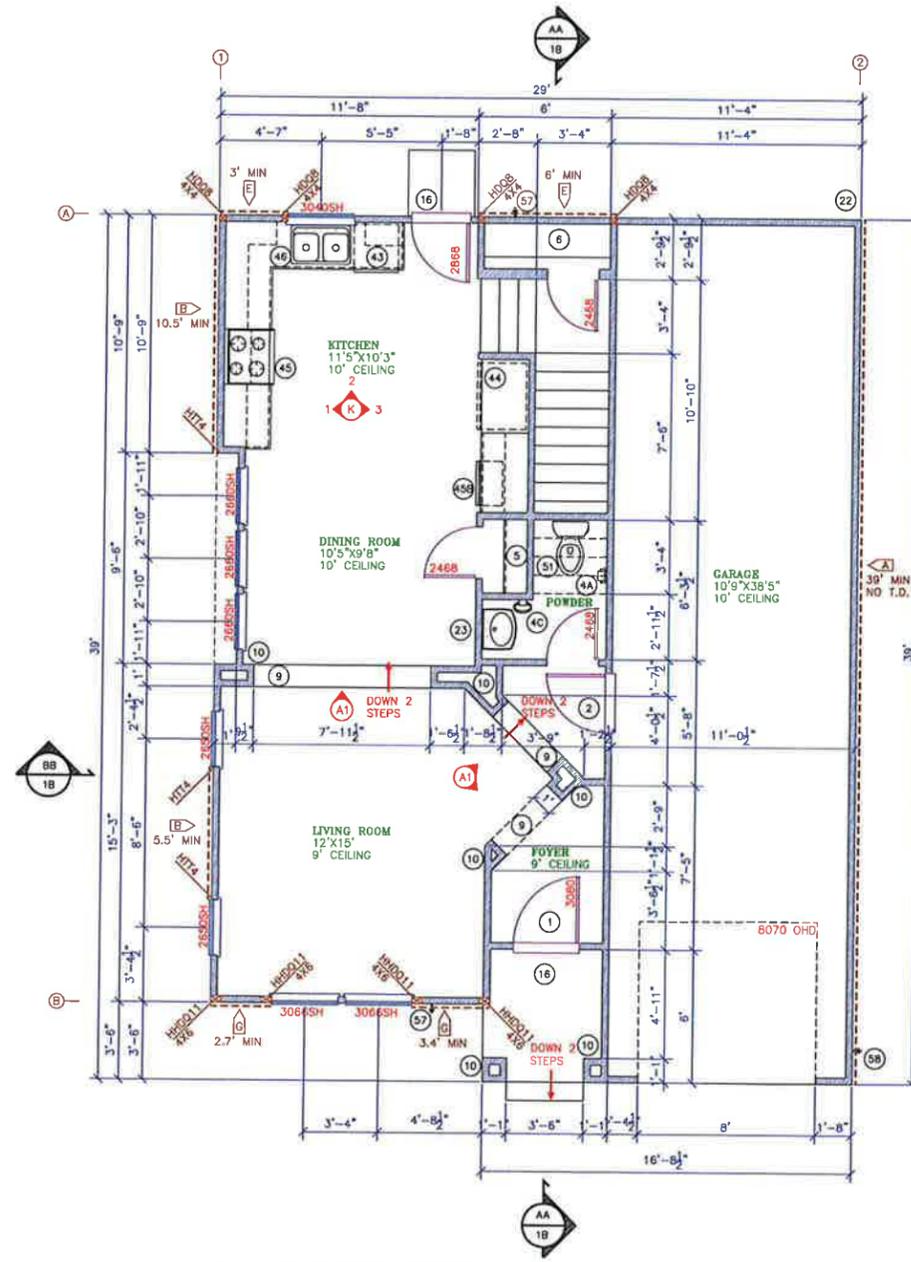
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Shear Wall Legend

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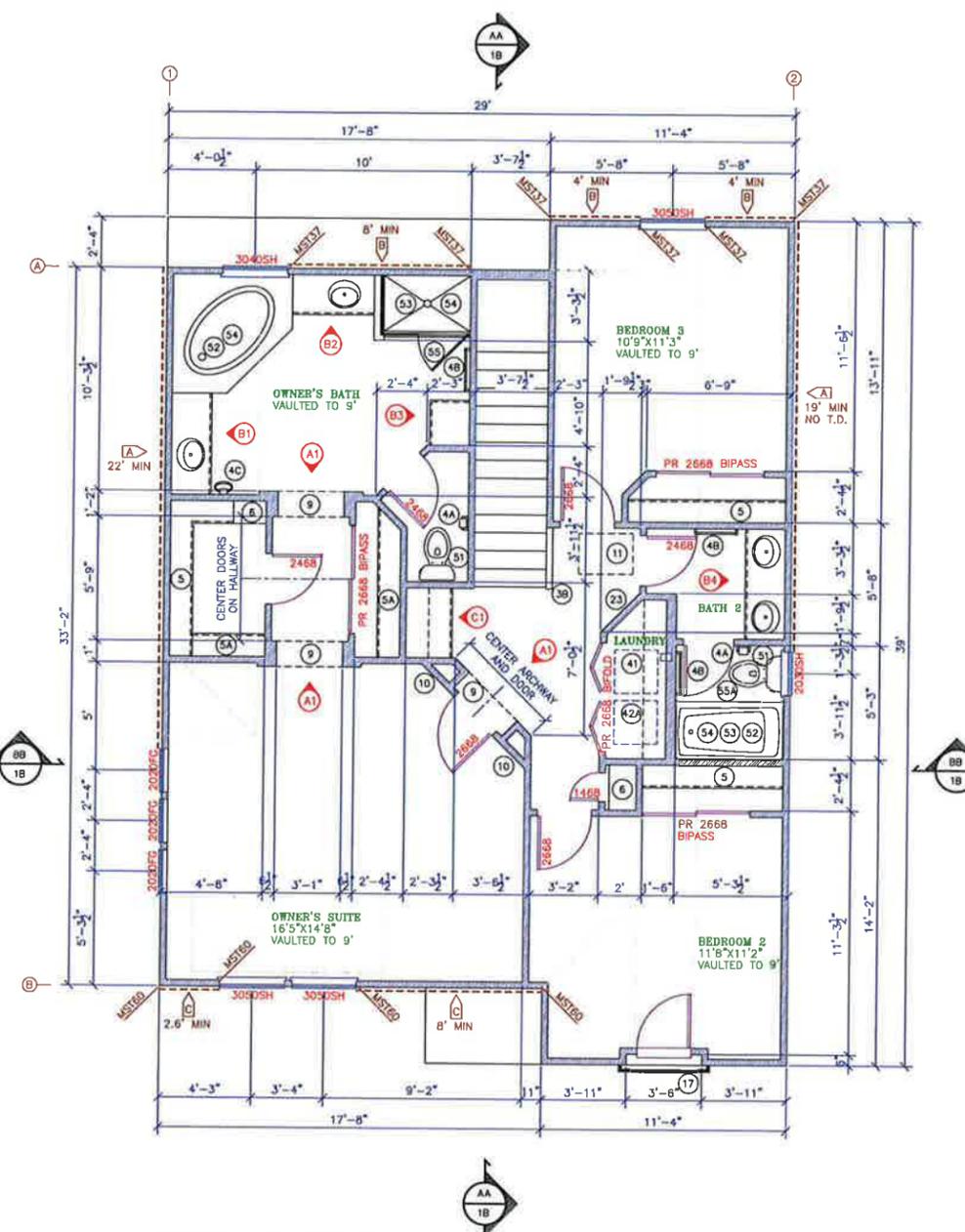
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- ARCH
- DRAFT STOP PER TYP
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- 48" SQ MIN CONC LANDING
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 - PROVIDE VENT IN DOOR W/100 SQ IN NET FREE VENT
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1/4" = 1'-0"



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2009PL-059

MPP-000035
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FILE COPY

NRSP DC-31
10000 DIAMOND CREEK BL

Plan 2
1598 Sq. Ft.
Diamond Creek
Roseville, CA

BlackPine Communities, LLC.
630 Lincoln Avenue
Woodland, CA 95695

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SHEET #
2A

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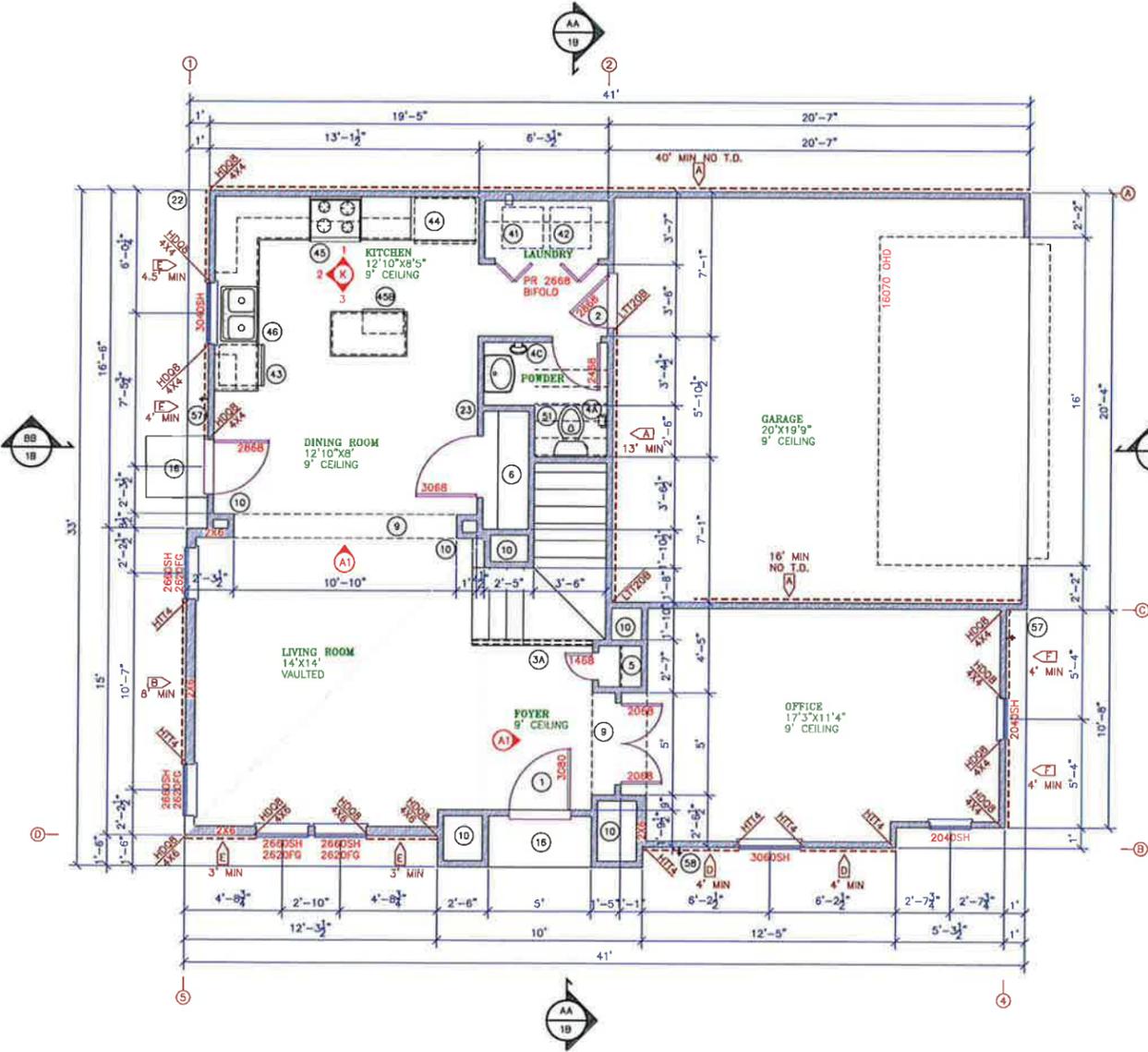
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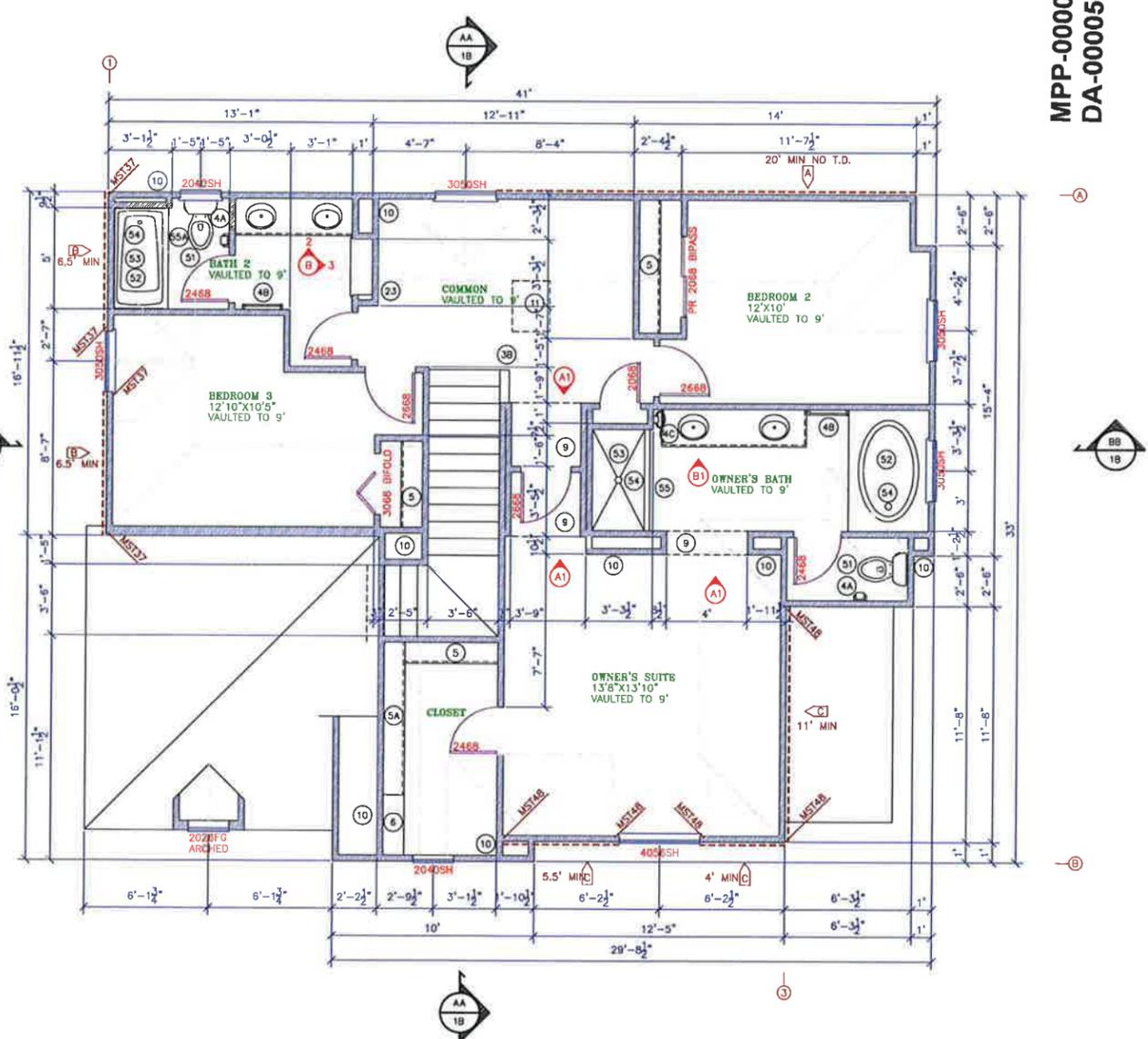
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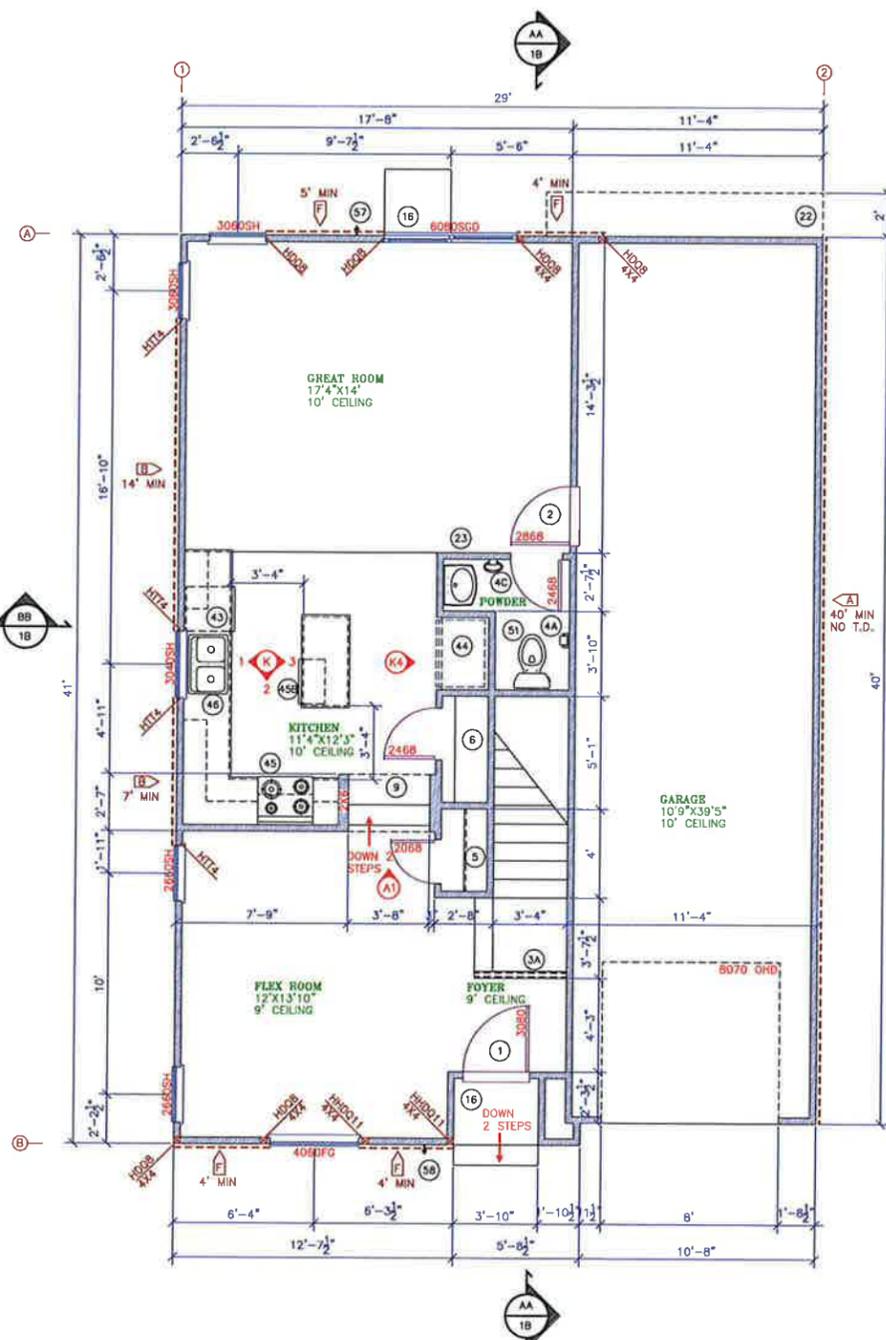
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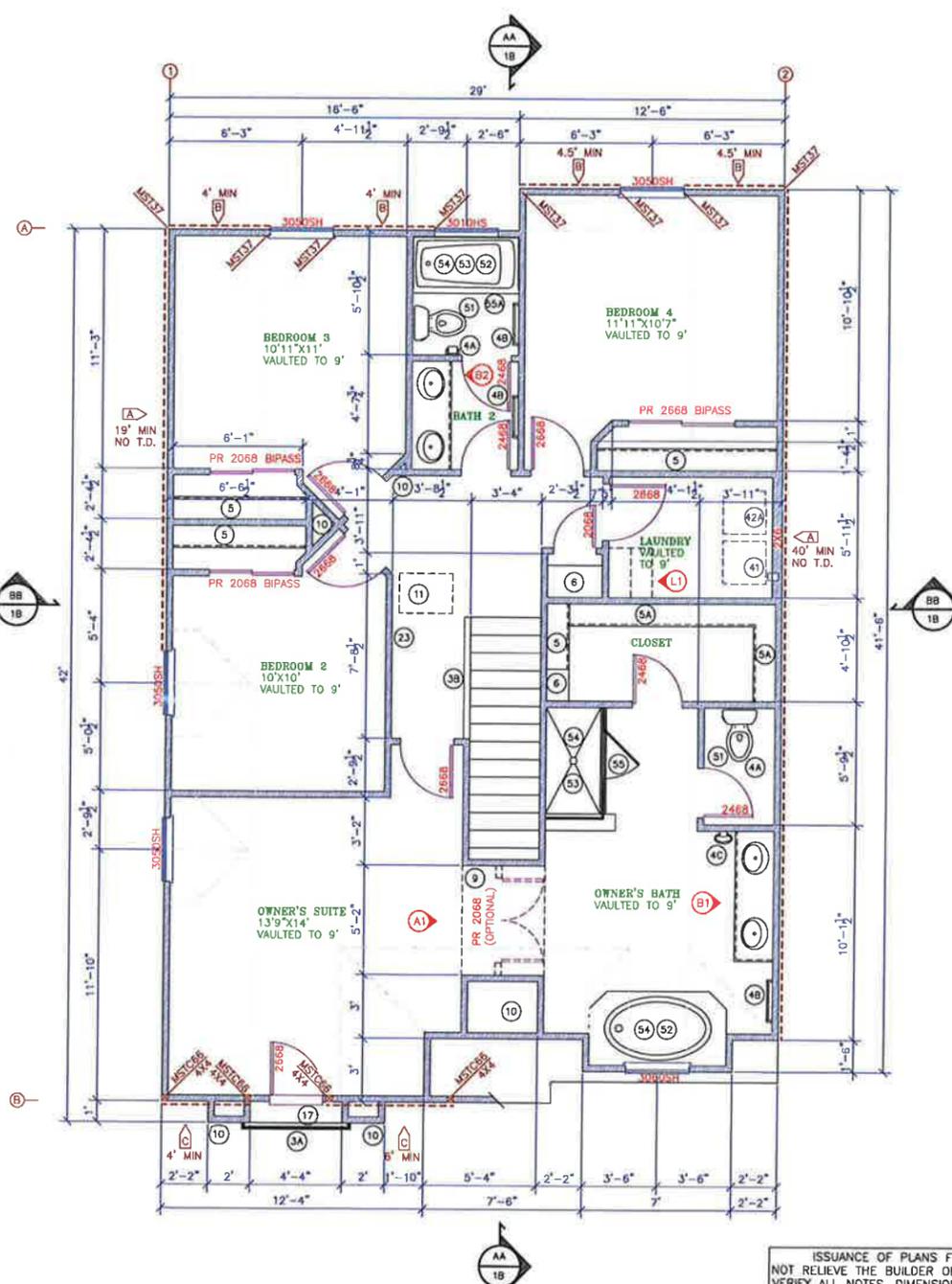
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630 Lincoln Avenue
Woodland, CA 95695

Plan 4
1864 Sq. Ft.
Diamond Creek
Roseville, CA

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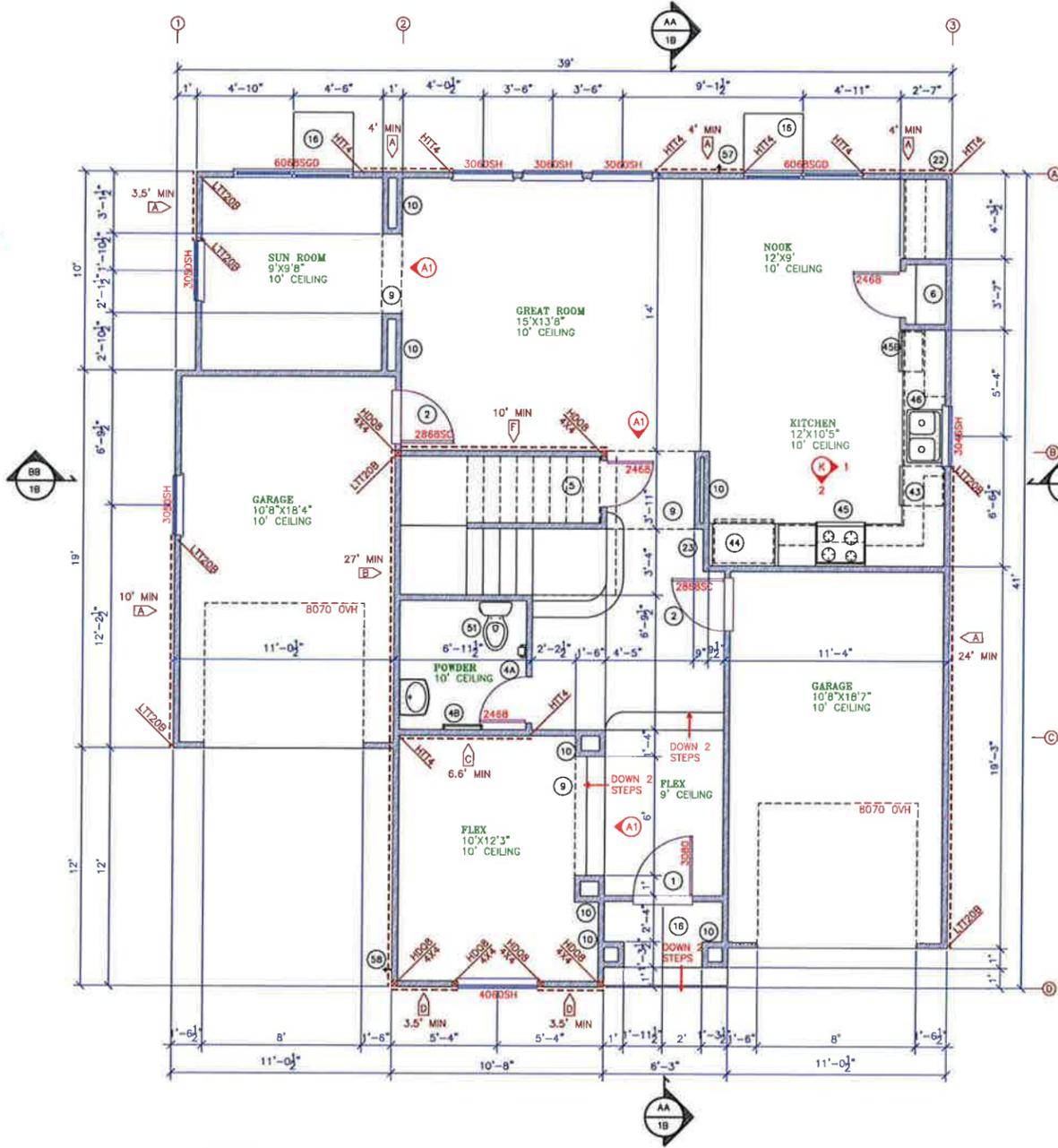
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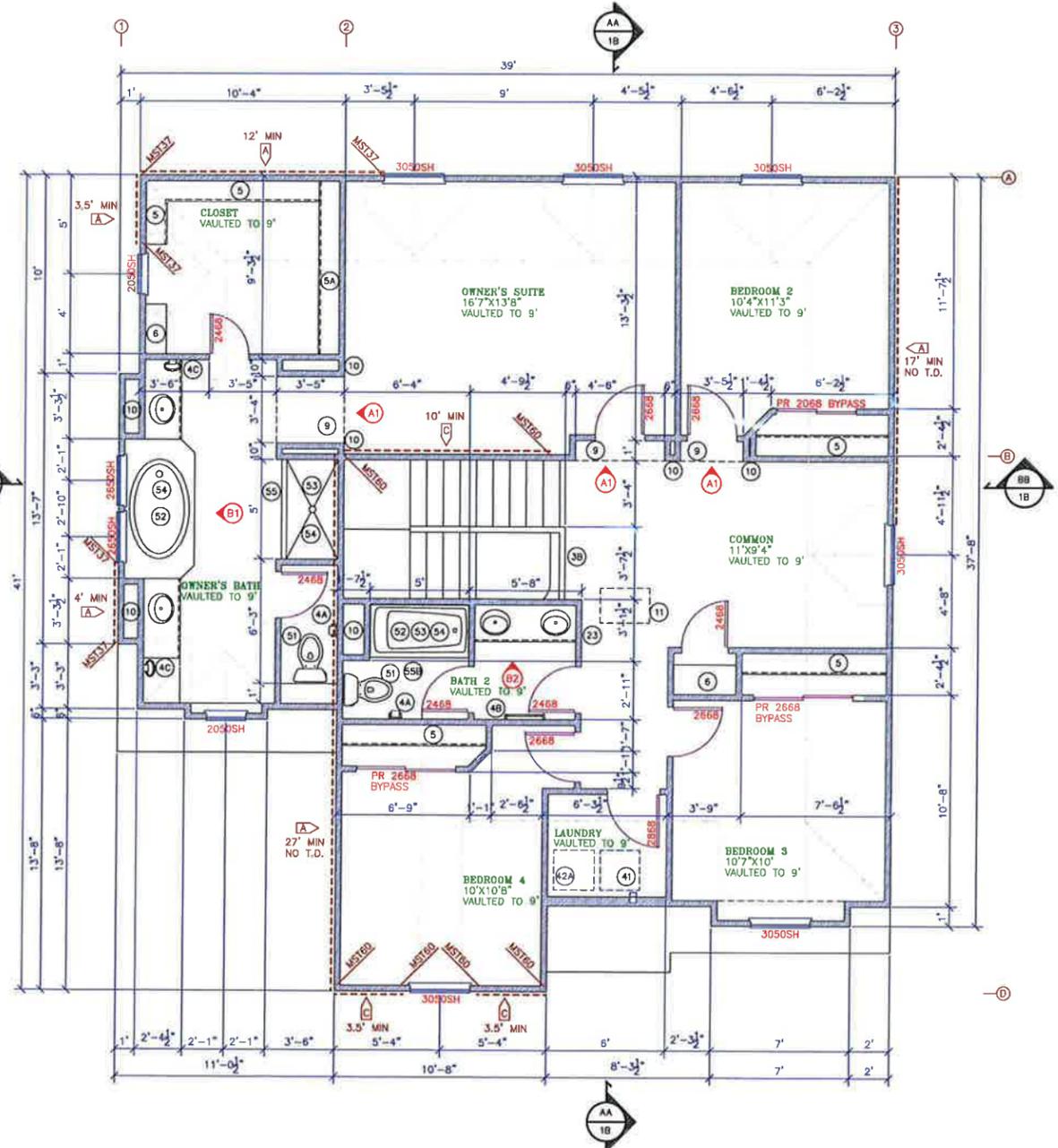
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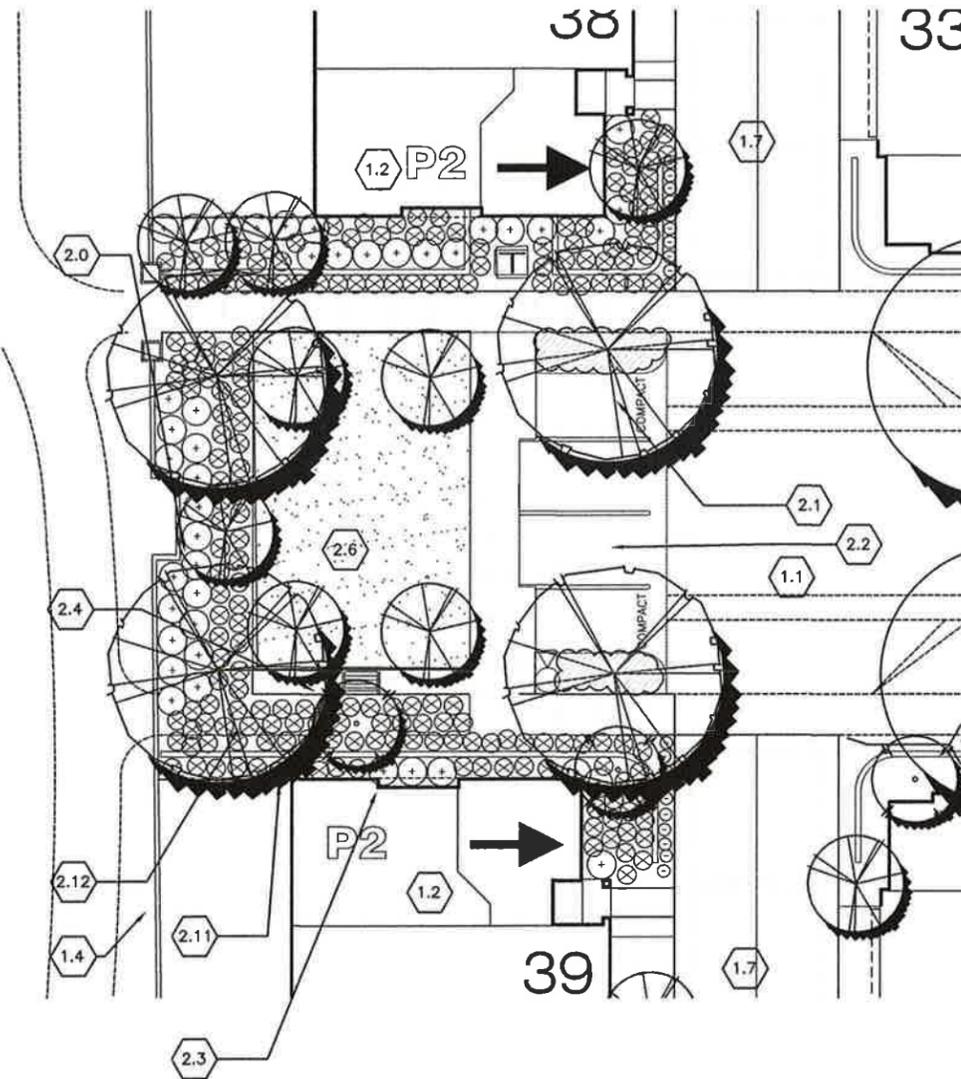
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Plan 5
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KEYNOTES

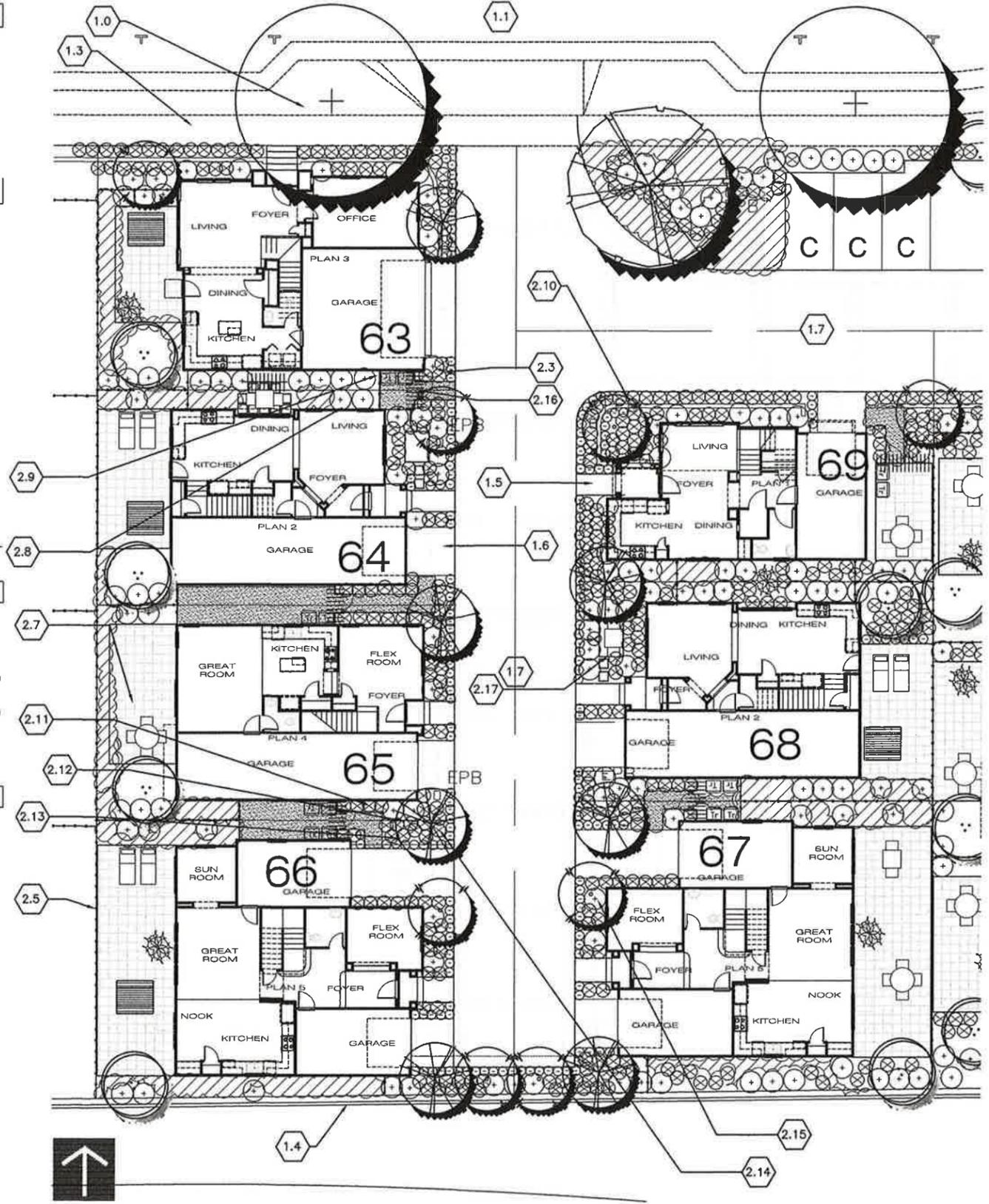
- 1 - GENERAL KEY NOTES**
- 1.0 EXISTING STREET TREES
 - 1.1 EXISTING ALLEY
 - 1.2 EXISTING PADS WITH PROPOSED UNITS
 - 1.3 EXISTING PEDESTRIAN WALK
 - 1.4 EXISTING MASONRY WALL
 - 1.5 PROPOSED 36" WIDTH CONCRETE ENTRY WALK
 - 1.6 PROPOSED SCORED CONCRETE DRIVEWAY TO MATCH ALLEY FINISH
 - 1.7 PROPOSED ALLEY, SCORED, WITH STD. OR DK. GREY MED. BROOM FINISH.
- 2 - SITE KEY NOTES**
- 2.0 PROPOSED VINE ON WALL
 - 2.1 PROPOSED SUBORDINATE STREET TREE
 - 2.2 PROPOSED COMPACT GUEST PARKING
 - 2.3 PROPOSED SHRUB AND GROUND COVER
 - 2.4 PROPOSED BENCH
 - 2.5 PROPOSED COURTYARD FENCE
 - 2.6 PROPOSED LAWN AREA
 - 2.7 BACKYARD (PRIVATE), COURTYARD PATIO
 - 2.8 PROPOSED UTILITY AREA
 - 2.9 PROPOSED ARBOR OVER GATE
 - 2.10 PROPOSED MAX. 24" HGT. GARDEN RETAINING WALL
 - 2.11 PROPOSED BACKGROUND SHRUB
 - 2.12 PROPOSED FILLER
 - 2.13 PROPOSED LOW BORDER SHRUB
 - 2.14 PROPOSED DECIDUOUS ACCENT TREE
 - 2.15 PROPOSED EVERGREEN TREE
 - 2.16 BARK, WALK ABLE GROUND COVER, OR D.G. PATH FOR GARBAGE ACCESS.
 - 2.17 PORCH PATIO.

PRELIMINARY PLANT LIST AND LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	AML SIZE	WATER USE	DESIGN USE
(Symbol)	AGAVE FOENICULIFOLIA SPINE PALM	10 GAL	MED	PATIO/ACCENT
(Symbol)	ANETHUM UNICO 'MARIJA' STARBUCCY TREE	15 GAL	LOW	SUB. STREET TREE
(Symbol)	COTONEASTER COONARA 'ROYAL PURPLE' SMOKE TREE	15 GAL	LOW	PATIO/ACCENT
(Symbol)	LAGERSTROEMIA X 'TUBICANDORA' ORANGE BUTTERFLY	15 GAL	LOW	PATIO/ACCENT
(Symbol)	LAGERSTROEMIA (STD. FORM) LAVENDER	15 GAL	MED	EVERGREEN/SCREEN
(Symbol)	HYDRANGEA LYONNETII TUPENIG	15 GAL	LOW	SUB. STREET TREE
(Symbol)	PHOTINIA FRAXINIFOLIA (STD. FORM) PHOTINIA	15 GAL	LOW	EVERGREEN/SCREEN
(Symbol)	WEXIA LANCEOLATA CHRYSE TREE	15 GAL	LOW	PATIO/ACCENT
(Symbol)	ULMUS PARVIFOLIA EVERGREEN ELM	NA	MED	EX. STREET TREE

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS
(Symbol)	FOUNDATION SHRUB - EVERGREEN, FILLER OR VERTICAL ACCENT SHRUB TO 24" TO 42" USED FOR REWORKING BUILDING MASS OR SCREENING.			
(Symbol)	AZALEA HURLEME RED COMPACT AZALEA	5 0	MED	---
(Symbol)	HEBE CRISTATA 'COMPACTA' JAPANESE HOLLY	5 0	LOW	---
(Symbol)	HYPERICUM X TROICOLOR DWARF GOLD FLOWER	5 0	MED	---
(Symbol)	PROSA BLUE WONDER DWARF SPRUCE	5 0	MED	---
(Symbol)	PODOCARPUS MACROPHYLLUS 'MAY' SHIMIZU YEW FINE	5 0	MED	---
(Symbol)	ROSA FLOWER CARPET (WHITE AND RED) FLOWER CARPET ROSE	2 0	LOW	---
(Symbol)	ROMANOFFS ROSE 'MILLERINA' DWARF ROSE HARTHORN	5 0	LOW	---
(Symbol)	FACER/FILLER SHRUBS EVERGREEN OR DECIDUOUS SHRUBS TO 18" TO 30". USED FOR TERRACING OF PLANT MATERIAL. SEASONAL COLOR AND SOFTENING OF BUILDING EDGES AND FOUNDATION SHRUBS.			
(Symbol)	HEBE OLUCOPHYLLA HEBE	1 0	MED	---
(Symbol)	HEBE CRISTATA 'COMPACTA' JAPANESE HOLLY	1 0	LOW	---
(Symbol)	LAURUS ANGSTIFOLIA ENGLISH LAUREL	1 0	LOW	---
(Symbol)	POLYSTICHUM SHIMIZU SHIRO FERN	1 0	LOW	---
(Symbol)	TELIORUM X LUCIDUM 'PROSTRATUM' PROSTRATE GERMANDER	1 0	LOW	18" 0.0
(Symbol)	BORDER GROUND COVER MATERIAL - SMALL SCALE DUE TO PROJECT TYPE, EVERGREEN OR PERENNIAL SHRUBS TO 12" TO 18" HIGH. USED AS A FILLER BETWEEN SITE WORK EDGES AND FOUNDATION SHRUBS.			
(Symbol)	DIWELLA CRISTATA BLUE FLAX LILY	1 0	LOW	18" 0.0
(Symbol)	BENEDICTUS OMBONIA PYGMAEA DWARF SANDWY	1 0	LOW	18" 0.0
(Symbol)	LAURUS ANGSTIFOLIA COMPACTA LAVENDER	1 0	MED	18" 0.0
(Symbol)	STACHYS BYZANTINA SILVER CARPET	1 0	MED	18" 0.0
(Symbol)	VINES TO BE USED ON PERIMETER WALL AND METAL TRELLIS SCREENS			
(Symbol)	FOCUS RUBRA CREEPING FIG	1 0	MED	8' 0.0
(Symbol)	MACRODENTON UNIOIS CATI CATS CLAW VINE	1 0	LOW	8' 0.0
(Symbol)	CLEMATIS ARABENSIS EVERGREEN CLEMATIS	1 0	MED	8' 0.0
(Symbol)	TRACHELOSPERMA JASMINOIDES ETNA JASMINE	1 0	MED	8' 0.0

URBAN AMENITY LOT

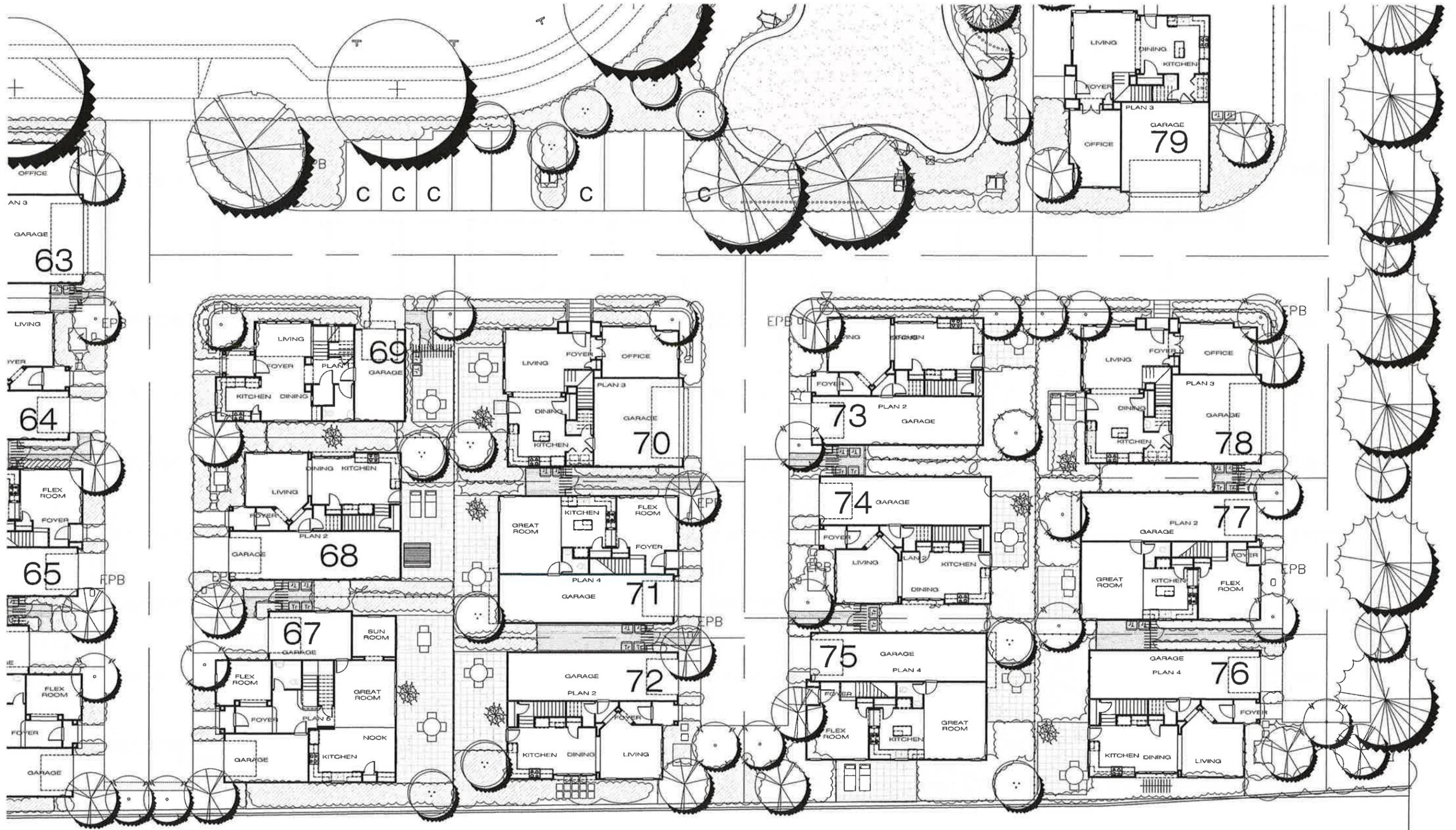


TYPICAL CLUSTER

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 100'

PL1.1



BlackPine HOLDINGS INC.
ROSEVILLE, CA

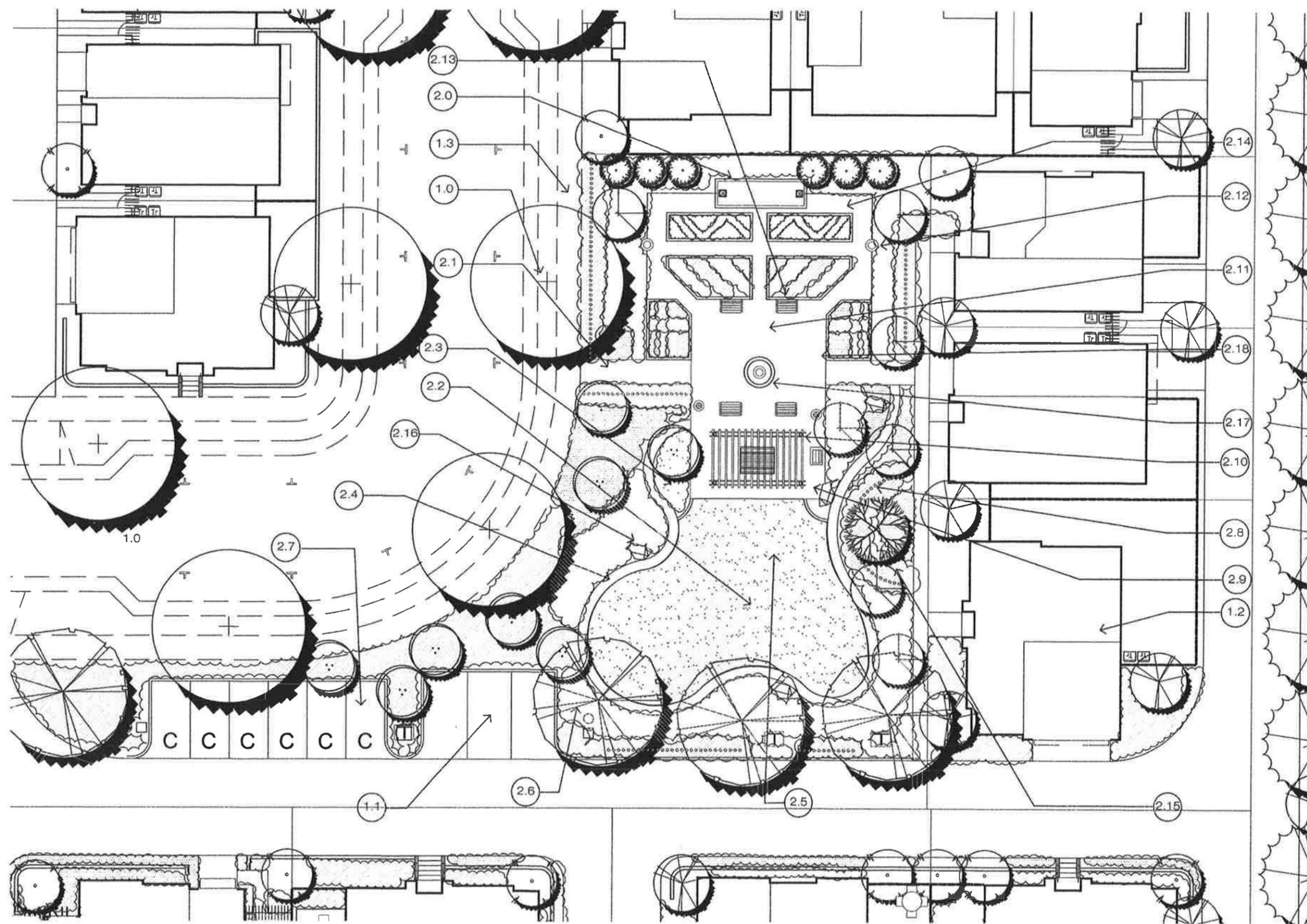
DIAMOND CREEK UNIT 31 LANDSCAPE CONCEPT SITE PLAN

SCALE: 1" = 100'
0 10' 20'

PL1.0

DATE: 12.01.09
PROJECT: BPH.11088

FUHRMAN LEAMY
landscape architecture • urban design
parks & recreation • site & master planning
www.flmgroup.com
2250 Douglas Blvd., Suite 130 Roseville, CA 95661 P 916.783.5263



KEYNOTES

1 - GENERAL KEY NOTES	
1.0	EXISTING STREET TREES
1.1	PROPOSED PARKING LOT
1.2	PROPOSED UNITS
1.3	EXISTING PEDESTRIAN WALK
2 - SITE KEY NOTES	
2.0	PROPOSED ARBOR
2.1	PROPOSED CONCRETE WALK ENTRY
2.2	PROPOSED MOUNDED TURF
2.3	PROPOSED NO MOW TURF
2.4	PROPOSED 24" WIDE CRUSHED ROCK OR PAVER TODDLER PATH.
2.5	PROPOSED TURF
2.6	PROPOSED SHRUBS AND GROUND COVER
2.7	PROPOSED PARKING
2.8	PROPOSED POST GARDEN FENCE
2.9	PROPOSED CRUSHED GRANITE PATIO WITH PICNIC TABLE AND BBQ
2.10	PROPOSED 10' X 20' SHADE ARBOR
2.11	PROPOSED RAISED KNOT GARDEN
2.12	PROPOSED LARGE POTTERY
2.13	PROPOSED BENCHES
2.14	PROPOSED CRUSHED GRANITE PATHS
2.15	PROPOSED SPECIMEN TREE
2.16	PROPOSED GRANITE BOULDERS
2.17	PROPOSED ART PIECE
2.18	PROPOSED TRASH RECEPTACLE



BlackPine HOLDINGS INC.
ROSEVILLE, CA

DIAMOND CREEK UNIT 31

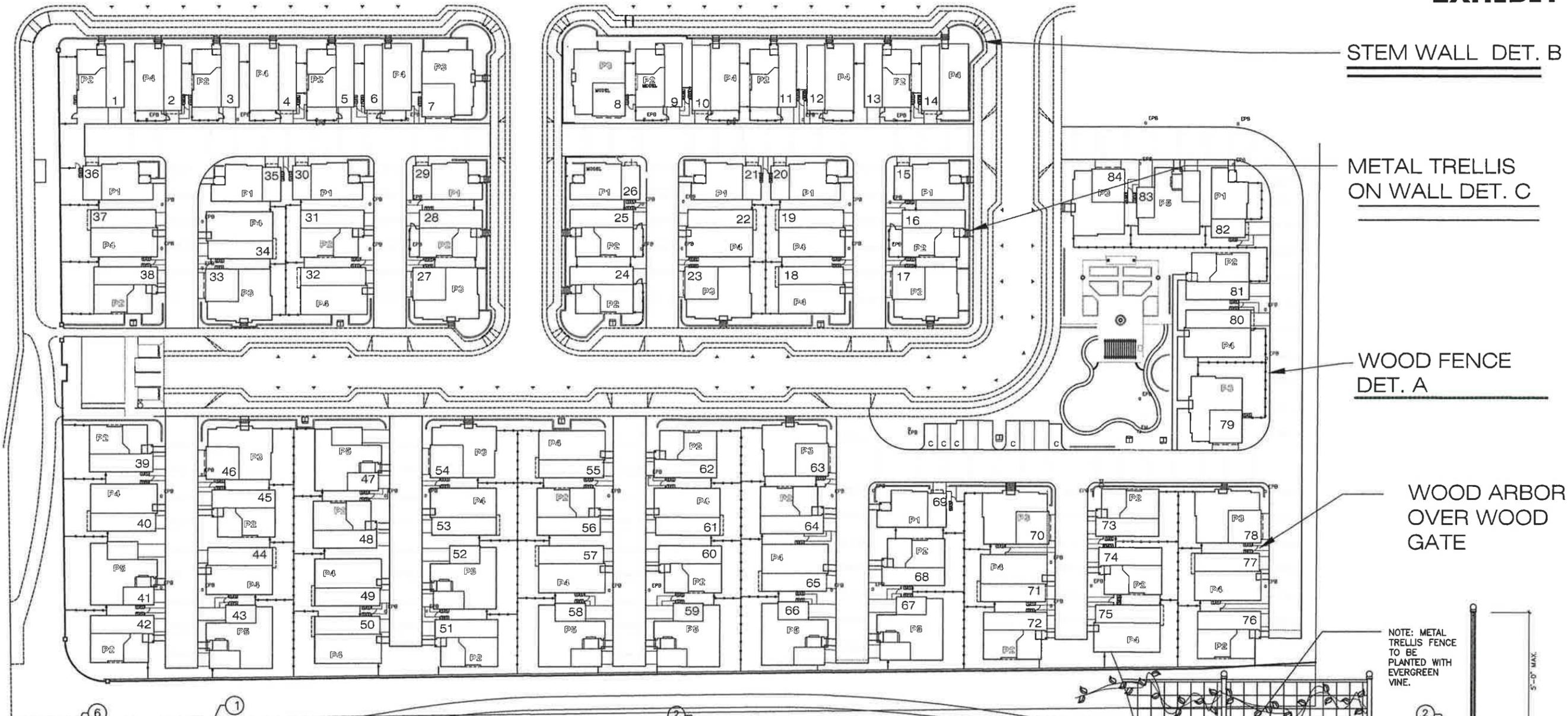
PRELIMINARY SITE PLAN

PL1.0

SCALE: 1" = 100'
0 10' 20'

DATE: 11.12.21
PROJECT: BPH.11088

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2250 Douglas Blvd., Suite 130 Roseville, CA 95661 P 916.783.5263



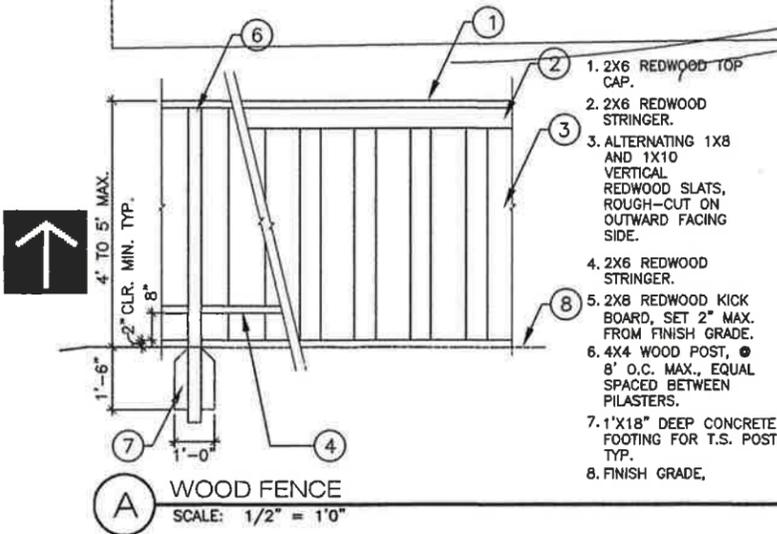
STEM WALL DET. B

METAL TRELLIS ON WALL DET. C

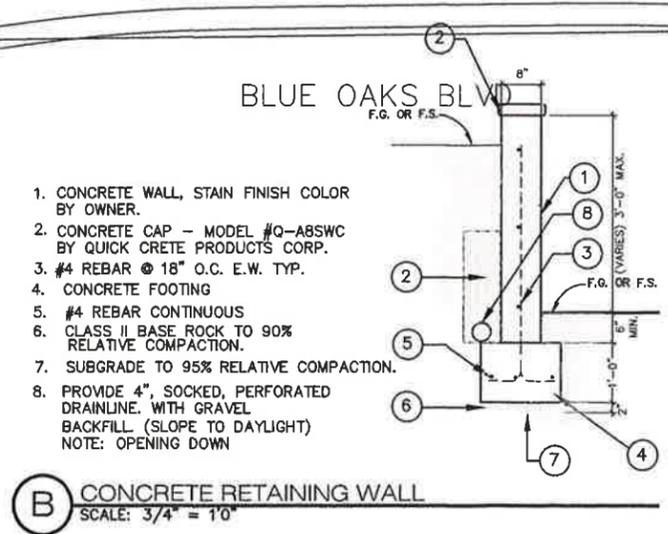
WOOD FENCE DET. A

WOOD ARBOR OVER WOOD GATE

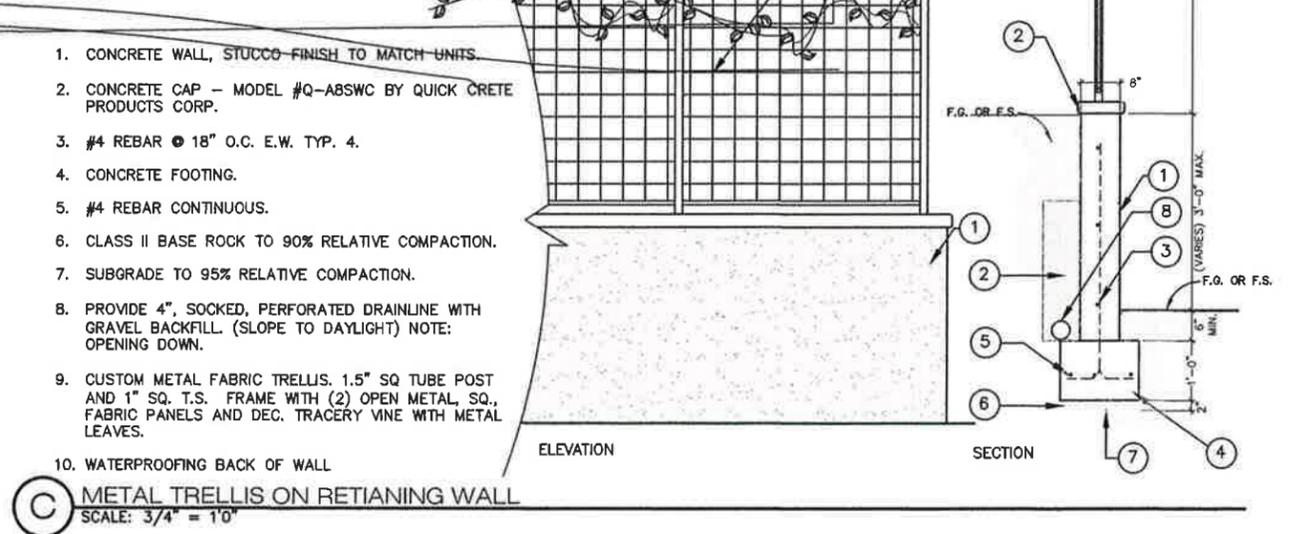
NOTE: METAL TRELLIS FENCE TO BE PLANTED WITH EVERGREEN VINE.



A WOOD FENCE
SCALE: 1/2" = 1'0"



B CONCRETE RETAINING WALL
SCALE: 3/4" = 1'0"



C METAL TRELLIS ON RETAINING WALL
SCALE: 3/4" = 1'0"

RECORDING REQUESTED BY AND
WHEN RECORDED, MAIL TO:

City Clerk
City of Roseville
311 Vernon Street
Roseville, CA 95678
Attn: Sonia Orozco

(SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE)

**EIGHTH AMENDMENT OF
DEVELOPMENT AGREEMENT BY AND BETWEEN
THE CITY OF ROSEVILLE AND BLACK PINE HOLDINGS, INC.
RELATIVE TO THE NORTH ROSEVILLE SPECIFIC PLAN
(Diamond Creek Parcel 31A)**

THIS EIGHTH AMENDMENT (the "**Eighth Amendment**") is entered into this ____ day of _____, 2012 by and between the CITY OF ROSEVILLE, a municipal corporation ("**City**"), and BLACK PINE HOLDINGS, INC., a California limited partnership (hereinafter "**Landowner**"), pursuant to the authority of Section 65864 through 65869.5 of the Government Code of California.

WITNESSETH:

A. On September 19, 1997, the City and Landowner's predecessor in interest entered into that certain agreement entitled "Development Agreement By and Between The City of Roseville and Diamond Creek Partners Relative to the North Roseville Specific Plan", which was recorded in the Official Records of Placer County on September 29, 1997, as Document No. 97-0059806 (the "**Original Development Agreement**").

B. Thereafter, City and Landowner's predecessor in interest entered into the following Amendments to the Original Development Agreement: the First Amendment, dated August 31, 1998 and recorded September 15, 1998 as Document No. 98-0073814; the Second Amendment, dated November 30, 1999 and recorded December 15, 1999 as Document No. 1999-0106726; the Third Amendment, dated October 9, 2002 and recorded November 14, 2002 as Document No. 2002-0143109; the Fourth Amendment, dated April 20, 2004 and recorded May 7, 2004 as Document No. 2004-0058294; the Fifth Amendment, dated September 15, 2004 and recorded November 12, 2004 as Document No. 2004-0151579; and the Sixth Amendment, dated March 15, 2006 and recorded March 21, 2006 as Document No. 2006-0029929; and the Seventh Amendment, dated March 7, 2007 and recorded April 11, 2007 as Document No. 2007-0036507 (collectively, the "**Prior Amendments**"). The Prior Amendments and Original Development Agreement are collectively referred to herein as the "**Development Agreement.**" Except as otherwise defined herein, all

capitalized terms used herein shall have the meanings ascribed thereto in the Development Agreement.

C. This Eighth Amendment amends the Development Agreement as to the property identified in the North Roseville Specific Plan as a portion of Parcel 31 which property is more particularly described in **Exhibit "A"** attached hereto ("**Parcel DC-31A**"). This Eighth Amendment shall run with the land with respect to the DC-31A Property.

D. On _____, 2012, the City Planning Commission, designated by Roseville Ordinance No. 3014 as the planning agency for purposes of development agreement review pursuant to Government Code Section 65867, in a duly noticed and conducted public hearing, considered this Eighth Amendment and recommended that the City Council approve this Agreement.

E. On _____, 2012, the City Council ratified as adequate and complete the Addendum to North Roseville Specific Plan EIR and Mitigated Negative Declaration (the "**Addendum**") for the mixed use commercial and residential development of the DC-31A Property (the "**Project**"). Mitigation measures were suggested in the Addendum and are incorporated in the Project and in the terms and conditions of this Agreement, as reflected by the findings adopted by the City Council concurrently with this Agreement.

F. The City Council has determined that the adoption of this Eighth Amendment involves no new impacts not considered in the Addendum; therefore, no further environmental documents relating to the adoption of this Agreement are required.

G. The City Council has found and determined that this Eighth Amendment of the Development Agreement is consistent with the General Plan and the North Roseville Specific Plan.

NOW THEREFORE, THE PARTIES MUTUALLY AGREE AS FOLLOWS:

1. Amendment of Development Agreement. The following sections of the Development Agreement for a portion of Parcel 31, are hereby amended as follows:

a. Revised Recital 5 (Entitlements). Recital 5 of the Development Agreement is revised with respect to the DC-31A Property to read as follows:

"5. Entitlements. The Planning Commission has approved the following land use entitlements for DC-31A Parcel DC-31A, which entitlements are the subject of this Agreement:

5.1 A Major Project Permit Modification Stage 2;

5.3 The Tentative Subdivision Map (the "**Tentative Map**") and Design Guidelines for development of the residential and mixed use residential commercial portions of the DC-31A Property, as approved by the Planning Commission; and

5.4 This Eighth Amendment to Development Agreement, as adopted by Ordinance No. _____ (the "**Adopting Ordinance**") and as amended hereby.

The approvals described in paragraphs 5.1 through 5.3, inclusive, are referred to herein as the "**Entitlements.**"

d. Revised Section 3.2.7 (Entire Park Land Obligation). With respect to Parcel DC-31A Section 3.2.7 of the Development Agreement is hereby revised in its entirety to read as follows:

3.2.7A Neighborhood Parkland Dedication. In accordance with the parkland dedication requirement for the DC-31A Property, Landowner shall provide in consideration of dedication a small .25 acre minimum urban relief area and green space in an acceptable location and configuration on the DC-31A Property as shown on the Tentative Map. Landowner shall develop, and the City shall own and maintain said urban relief area as a public recreation area. The landowner shall be responsible for amending CFD#2 assessment rate to add a new improvement area for the property to include maintenance and administration costs sufficient to maintain 2 urban relief areas, adjacent parking areas and the interior street trees concurrent with the Model Home building permits. The urban relief areas, adjacent parking and street trees shall also be constructed/installed, as approved by the Parks Director, prior to occupancy of the fifteenth home for the subdivision being granted, or occupancy of the homes on Lots 79-84 being granted, whichever occurs first.

3.2.7B Park Fees and Credits:

- (a) **Neighborhood Park Fees.** Each single family unit within the project will be subject to paying the current established single family Neighborhood Park Fee, which is initially \$2,394 per residential unit.
- (b) **City Wide Park Fees.** Each residential unit within the project will pay the City Wide Park Fee of \$1,781, with a credit of \$554.00 for meeting land dedication requirements, for a net City Wide park fee of \$1,227 per residential unit.
- (c) **Pooled Unit Park Fees.** The parties still further acknowledge and agree that the 30 units remaining unused from the original plan area have an obligation to pay the pooled unit park fee of \$516.00 per unit. This fee shall be charged on the first 30 units developed in the project and will be paid upon issuance of those building permits.
- (d) **Annual Fee Adjustments.** All park fees outlined above, excluding the open-space dedication in-lieu payment, are subject to standard annual City fee adjustment increases on July 1."

- (e) At the completion of all residential and neighborhood park development, if there is a remainder fund balance, City shall, within sixty (60) days of filing a notice of completion of the last neighborhood park or bike trail improvement for the North Roseville Specific Plan area, refund the Landowner, a pro-rata share of the remainder fund balance.

e. Revised Section 3.3 (School Fee Agreements). With respect to Parcel DC-31A Section 3.3 of the Development Agreement is hereby revised in its entirety to read as follows:

“3.3 School Fee Agreements. Landowner has entered into separate written agreements with the Roseville City School District and the Roseville Joint Union High School District to fully mitigate the impacts of development of the DC-31A Property on said school districts. These agreements have been updated to reflect the new school population resulting from the Project. Landowner has provided City with executed copies of such updated agreements. From and after execution thereof, City agrees that so long as Landowner is not in default of said agreements, City shall not refrain from approving any subdivision maps or other such entitlements for the DC-31A Property or from issuing any building permits for development thereof consistent with the Entitlements on the basis of adverse impacts of such development on school facilities. Landowner agrees that a default under either of these school agreements shall also constitute a default under this Agreement with the City. Either School District may request that the City join in its agreement with Landowner to evidence the City's support thereof and the City will cooperate therewith and join in either school agreement as an additional party thereto, subject to its approval of the terms and conditions thereof.”

f. Revised Section 3.4 (Electric). With respect to Parcel DC-31A Section 3.4 of the Development Agreement is hereby revised in its entirety to read as follows:

3.4 Electric. Landowner shall provide electric utility improvements as provided in this section.

3.4.1 Public Utilities Within Rights-of-Way. All public utilities shall be located within the rights-of-way to be granted by Landowner to City for the arterials, collectors and other local streets within the DC-31A Property or within public easements granted by Landowner to City for such purposes. Accordingly, upon approval of the final large lot subdivision map (or any phase of it), or demand of the City based upon service needs (which may include needs generated by other nearby development within the Plan Area), Landowner agrees to grant to City the rights-of-way for any arterials, collectors, local streets, or public easements that include the area within which such public utilities will be located. If such utilities need to be installed prior to the construction of the applicable street(s), Landowner shall grant a temporary public utility easement which shall merge with the rights-of-way upon completion of the applicable street improvements. The width of the rights of way, including the area for utilities, for the applicable roadways shall be as shown in Table 4-1 of the Specific Plan.

Landowner shall also grant and convey to City with each of the foregoing easements a non-exclusive, co-extensive easement for sidewalk/pedestrian egress purposes. Each such easement shall be as depicted in the Specific Plan and shall be located within

right-of-way for the adjacent roadway as shown in the Plan.

Nothing in this Agreement shall be construed to limit or restrict the right of the City to require the dedication of an easement for utility purposes related to development of any parcel when such requirement would be otherwise consistent with the reasonable exercise of the police powers of the City and is reasonably related to a requirement to serve the parcel or parcels adjacent to the easement.

Landowner shall include a notice in the project CC&R's and its sales document advising property owners adjacent to the public utility easements in which 60kV overhead lines may be constructed (as shown on Exhibit "E-2") that the City may utilize portions of these easements to construct 60kV overhead electric lines.

3.4.2 Streetlights. Concurrently with the construction of the adjacent roadways, Landowner agrees to construct, or finance construction of, streetlights within the DC-31A Property, as directed by the Electric Utility Director. Except as may otherwise be permitted by the Electric Utility Director, no street shall be opened to the public unless and until streetlights have been installed in accordance with applicable requirements of the Electric Department.

3.4.3 Electric Facilities. Concurrently with the construction of the adjacent roadways, Landowner agrees to construct, or finance the construction of, on-site 12kV electric distribution facilities as directed by the Electric Utility Director. Landowner shall construct or finance construction of on-site 12kV electric distribution facilities in accordance with final on-site electric distribution designs for the Project as directed by the Electric Utility Director in accordance with applicable City Electric Utility Department Specifications. Final on-site electric utility improvements including street lights will be designed upon receipt of approved and adopted improvement plans for the applicable Project roadways. Any relocation, rearrangement, or change to the existing electric facilities due to this development shall be at the Landowner's expense.

3.4.4 Electric Efficiency. In order to insure the energy efficiency rating of the all air conditioning, the following parameters must be met or exceeded:

1. Residential: A minimum Seasonal Energy Efficiency Rating (SEER) of 2 points above the minimum, as defined by the State of California in Title 24 of the Code of California Regulations, and an Energy Efficiency Ratio (EER95) of 12 or greater, and a thermal expansion valve (TXV). The SEER/EER95 ratings will be specified on building plans and Title 24 compliance certificates at the time building permits are requested. The EER95 rating will be verified with appropriate documentation to the satisfaction of the Electric Utility Director.
2. Commercial: All air conditioning units 5 tons or less (<65,000 Btu/h) shall meet the Consortium for Energy Efficiency (CEE) Tier II specifications. The SEER/EER95 ratings will be specified on building plans and Title 24 compliance certificates at the time building permits are requested. The EER95 rating will be verified with appropriate documentation to the satisfaction of the Electric Utility Director.

In a further effort to reduce the residential energy load, the Landowner is encouraged to participate in the new construction energy efficiency programs, with regards to all dwelling units in the Project area. All energy efficiency programs are voluntary incentive based programs offered by Roseville Electric.

g. New Sections 3.6.10 through 3.6.13 (Water and Construction Waste). With respect to Parcel DC-31A new Sections 3.6.10 through 3.6.13 are hereby added as follows:

“3.6.10 Re-Circulating Hot Water System. For the purpose of providing a water conservation opportunity, every residential unit within the Project shall include a recirculating hot water system, or similar technology to provide instantaneous hot water at each hot water faucet.”

“3.6.11 Contribution to Water Meter Retrofit Program. In furtherance of its water conservation program, City has implemented a Water Meter Retrofit Program. To participate in the Water Meter Retrofit Program and to provide a benefit to the City and existing residents, Landowner shall pay to City, at the time of building permit for each residential unit, the sum of \$115.00 per dwelling unit equivalent (DUE) inflated annually based upon the Construction Cost Index for the United States average of the 20-cities and San Francisco (CCI). Should the CCI no longer exist, the Director of Environmental Utilities shall choose a similar index which in his/her opinion fairly estimates the inflation factor applicable to construction.”

“3.6.12 Water Softener Stubouts. As part of its development of the project, neither Landowner nor its successors shall provide water stubouts for the installation of water softeners. DC-31A Property CC&Rs shall prohibit the use and installation of water softeners.”

“3.6.13 Construction Waste. Landowner shall require construction contractors and subcontractors to reduce construction waste by recycling a minimum of 50% of construction materials or that all construction debris be delivered to the Placer County Western Regional Materials Recovery Facility where recyclable material will be removed. Landowner shall require that contractors and subcontractors submit to the City’s Environmental Utilities Department monthly records of waste diversion and disposal in order to verify compliance with this requirement.”

h. Revised Section 3.9.12 (Master Plan Funding). With respect to Parcel DC-31A Section 3.9.12 is hereby revised in its entirety to read as follows:

“3.9.12 Transit Master Plan and Bikeway Plan Funding. Landowner shall pay its fair share, on a City-wide basis, of the Long Range Master Transit Plan (LRMTP), the Short Range Transit Plan (SRTP), and Bikeway Master Plan (BMP) for the Project. The fair share cost for this project is \$20/unit for the LRMTP, \$20/unit for the SRTP and \$20/unit for the

BMP. Total City-wide fair share costs for all plans shall not exceed \$60 per residential unit. The fair share payment of \$60 per residential unit for all master plans shall be paid to the City upon issuance of the building permit for each unit within the Project.”

i. Revised Section 3.9.13 (TSM - Residential Distribution of Marketing Materials). With respect to Parcel DC-31A Section 3.9.13 is hereby revised to add the following at the end thereof:

“Upon close of escrow for the sale of each residential unit, Landowner shall provide educational and marketing materials for alternative modes of transportation (i.e., deliver a Roseville Transit Services Guide and Bikeways Map) to each new homeowner with a 10-ride general public punch pass for fixed route services. The packets of marketing materials and 10-ride punch passes shall be purchased by Landowner for the entire subdivision prior to occupancy of the first unit.”

j. New Section 3.10.6 (Community Benefit Fee). With respect to Parcel DC-31A new Section 3.10.6 of the Development Agreement is hereby added as follows:

“3.10.6 Community Benefit Fee. As partial consideration for this Agreement, to offset a portion of the impact of the Project and the associated tax sharing agreement with Placer County, and to ensure that the Project will benefit current and future residents of Roseville, Landowner shall pay a Community Benefit Fee at the time of obtaining each residential building permit for the Project. The Community Benefit Fee for each low density and medium density residential unit shall be \$1,530. The Community Benefit Fee for each high density residential unit shall be \$1,010.”

k. New Section 3.10.7 (South Placer Animal Control Shelter Fee). With respect to Parcel DC-31A new Section 3.10.7 of the Development Agreement is hereby added as follows:

“3.10.7 South Placer Animal Control Shelter Fee. Landowner shall pay the South Placer Animal Control Shelter Fee for the future construction of a South Placer Animal Control Shelter. The fee shall be paid upon issuance of each residential building permit in the amount of fifty dollars (\$50) per dwelling unit which amount shall be inflated annually based upon the Construction Cost Index for the United States average of the 20-cities and San Francisco (CCI).”

l. New Section 3.10.8 (Air Quality Program). With respect to Parcel DC-31A new Section 3.10.8 of the Development Agreement is hereby added as follows:

“3.10.8 Air Quality Mitigation. Landowner agrees that none of the residential units will be installed with wood stoves or wood fireplaces and any such stoves or fireplaces shall be limited to natural gas. The DC-31A Property CC&R’s shall include a restriction against any subsequent installation of wood stoves or wood fireplaces within any residential units.”

m. New Section 3.10.9 (Public Street Improvements). With respect to Parcel DC-31A new Section 3.10.9 of the Development Agreement is hereby added as follows:

“3.10.9 Public Street Improvements – Land Owner shall construct those Public Street Improvements as specified in this section.

3.10.9.1 Blue Oaks Boulevard Widening. Landowner and City shall work together to establish a Reimbursement Agreement to design and install the improvements to widen Blue Oaks Boulevard to three (3) west bound travel lanes between Foothills Boulevard and Crocker Ranch Road, including but not limited to, road widening, transition lanes, signal modifications, stripping, and other facilities and appurtenances related thereto as deemed necessary or appropriate by the City, and landscaping east of the Woodcreek Blvd extension for a distance of 500+/- feet. (collectively, the “**Blue Oaks Widening**”). Such design and construction shall occur at the same time as Landowner is designing and installing the additional frontage improvements to Blue Oaks Boulevard adjacent to the DC-31A Property. Prior to the commencement of Design and Construction, the Landowner shall provide the City with a preliminary cost estimate for all portions of work. Construction shall be computed using prevailing wages. During Landowner’s design of its additional frontage improvements along Blue Oaks Boulevard, Landowner shall retain an engineer acceptable to the City to design the Blue Oaks Widening, subject to the City funding all costs of such design on a monthly basis as and when such costs are incurred by Landowner (i.e., such that Landowner is not obligated to contribute to or advance any of the costs thereof). Similarly, when Landowner seeks to construct its additional frontage along Blue Oaks Boulevard, as part of its bid package for such work, Landowner may, at its option, either include the Blue Oaks Widening as part such package (with instructions to segregate the costs of such work from the additional frontage improvements) or separately bid the Blue Oaks Widening from such additional frontage improvements; Landowner’s acceptance of any bid for the Blue Oaks Widening shall be subject to the City’s review and approval. In consideration of Landowner’s entering into any approved construction contract for the Blue Oaks Widening, City shall fund all costs of the construction on a monthly basis as and when such costs are incurred by Landowner (i.e., such that Landowner is not obligated to contribute to or advance any of the costs thereof). City shall also pay Landowner a construction management fee equal to four percent (4%) of the cost of such design and construction at the same time that City is funding such design and construction costs. Landowner shall use good faith, diligent efforts to complete the Blue Oaks Widening on a timely basis.

Landowner is offering to manage the design and construction of the Blue Oaks Widening as an accommodation to the City and at City’s sole cost and expense. City acknowledges that development of the DC-31A Property is not contingent on the completion of such work. Accordingly, any failure by Landowner to diligently pursue or complete such work shall not affect or limit the rights and obligations of Landowner and City hereunder to proceed with development of the DC-31A Property in accordance with the terms of this Agreement and the entitlements vested hereby. In particular, and without limitation thereof, the acceptance of Landowner’s additional frontage improvements along Blue Oaks Boulevard shall not be dependent upon the completion of the Blue Oaks Widening.

3.10.9.2 Parkside Way. Parkside Way shall be constructed in its entirety upon the first of either the development of Large Lot Parcel 2, Large Lot Parcel 3, the extension of Street "B" north through Large Lot Parcel 1, or the development of the remaining property north of Parkside Way.

3.10.9.3 Pedestrian Walkway on West Side of Diamond Creek Blvd. With the construction of any portion of the project southeast of Diamond Creek Blvd. and Parkside Way, the minimum of a temporary 2-inch thick AC pedestrian path shall be constructed on the west side of Diamond Creek Blvd to provide a connection between Blue Oaks with Parkside Way.

3.10.9.4 Driveway Location North. The driveway location to the development north of Parkside Way shall be located half way between the intersection of Street "B" North and the traffic circle to the east."

n. New Section 3.18 (Property Owners Association and Disclosures). With respect to Parcel DC-31A new Section 3.18 is hereby added as follows:

3.18.2 The Project CC&Rs shall disclose the location of bus stops and the possible operation of bus service in the locations identified on the Project Plans.

o. New and Revised Exhibits. With respect to Parcel DC-31A new **Exhibit "A"** and **Revised Exhibit "B"** are attached hereto and hereby incorporated into and made a part of the Development Agreement.

2. Consistency with General Plan. The City hereby finds and determines that execution of this Amendment is in the best interest of the public health, safety and general welfare and is consistent with the General Plan.

3. Amendment. This Amendment amends, but does not replace or supersede, the Development Agreement except as specified herein. This Amendment only affects the development of the DC-31A Property described in **Exhibit "A"** attached hereto and does not amend or modify the rights or obligations associated with the development of any other Parcels within the Specific Plan.

4. Form of Amendment. This Amendment is executed in two duplicate counterparts, each of which is deemed to be an original.

IN WITNESS WHEREOF, the City of Roseville, a municipal corporation, has authorized the execution of this Amendment in duplicate by its City Manager and the attestation to this Amendment by its City Clerk under the authority of Ordinance No. _____, adopted by the Council

of the City of Roseville on the _____ day of _____, 2012, and Landowner has caused this Amendment to be executed.

CITY:

**CITY OF ROSEVILLE,
a municipal corporation**

LANDOWNER:

By: B.P.H. COMMUNITIES, L.L.C. a California
limited liability company

BY: _____
Ray Kerridge
City Manager

By: _____
Jeffrey D. Morgan
President

ATTEST:

BY: _____
Sonia Orozco
City Clerk

APPROVED AS TO FORM:

BY: _____
Brita J. Bayless
City Attorney

[ALL SIGNATURES MUST BE NOTARIZED]

EXHIBIT A

Legal Description

That certain real property situated in the City of Roseville, County of Placer, State of California, described as follows:

Parcel 1, as said parcel is shown and delineated on that certain Parcel Map recorded November 30, 2007 in Book 34 of Parcel Maps, at Page 19, Placer County Records.

APN: 017-117-069-000

REVISED EXHIBIT "B"

Revised Land Use Map for the DC-31A Property

[To Be Attached]